



NORTH BAY VILLAGE
EST. 1945

NBV100

Zoning Code Update

RS-2 Zoning District | Single Family Residential

Treasure Island

LISTENING AND LEARNING SESSION

January 17, 2024

Agenda

1. Background/Overview of RS-2 Zoning Regulations
2. Facilitated conversation
3. Next steps
4. Q & A
5. Adjournment

NBV100 Master Plan

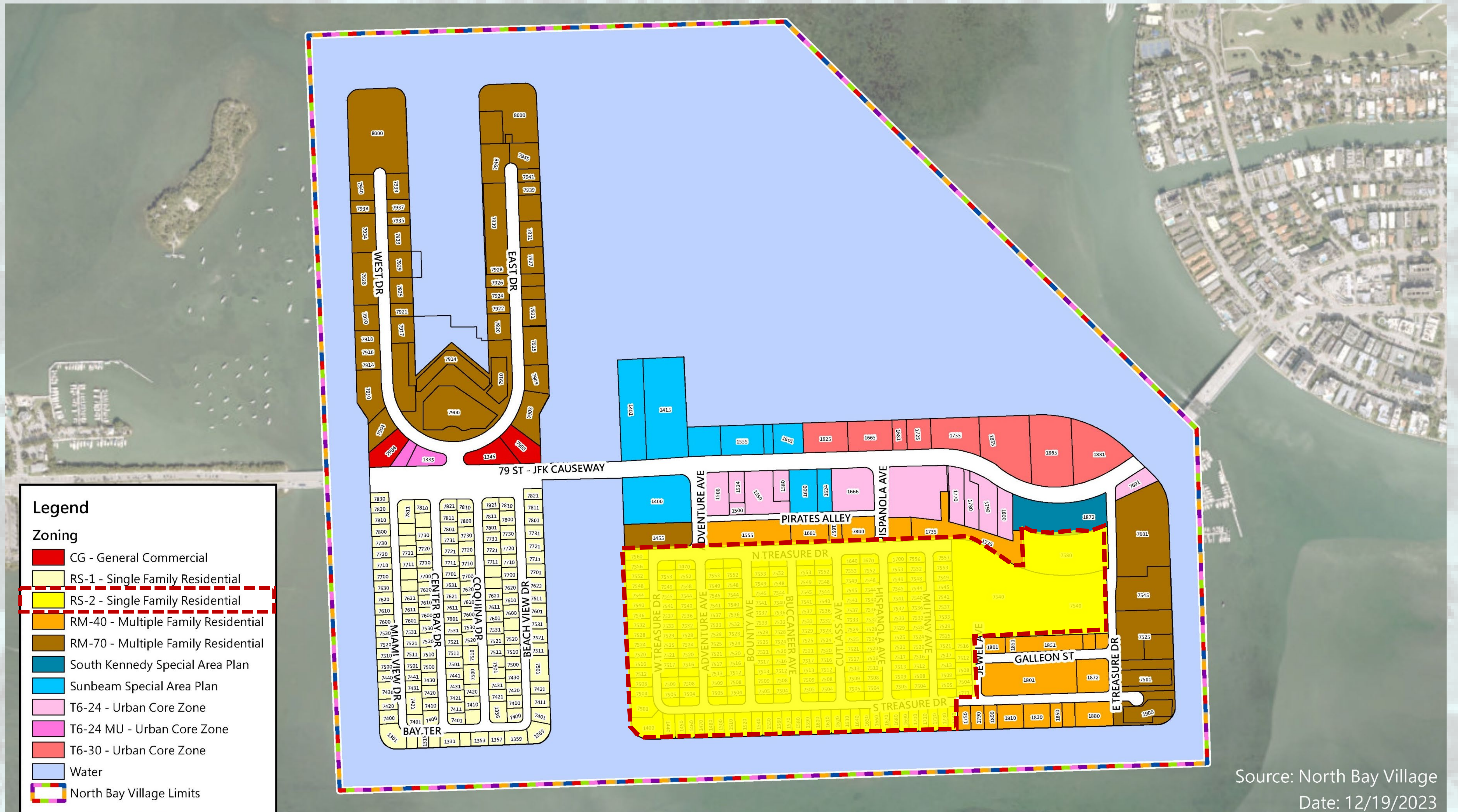
- Adopted in 2020
- Three Pillars:
 - Livability
 - Resilience
 - Prosperity
- Recommended updating the Village's zoning code to ensure consistency with the above principles

What actions has Village taken to date?

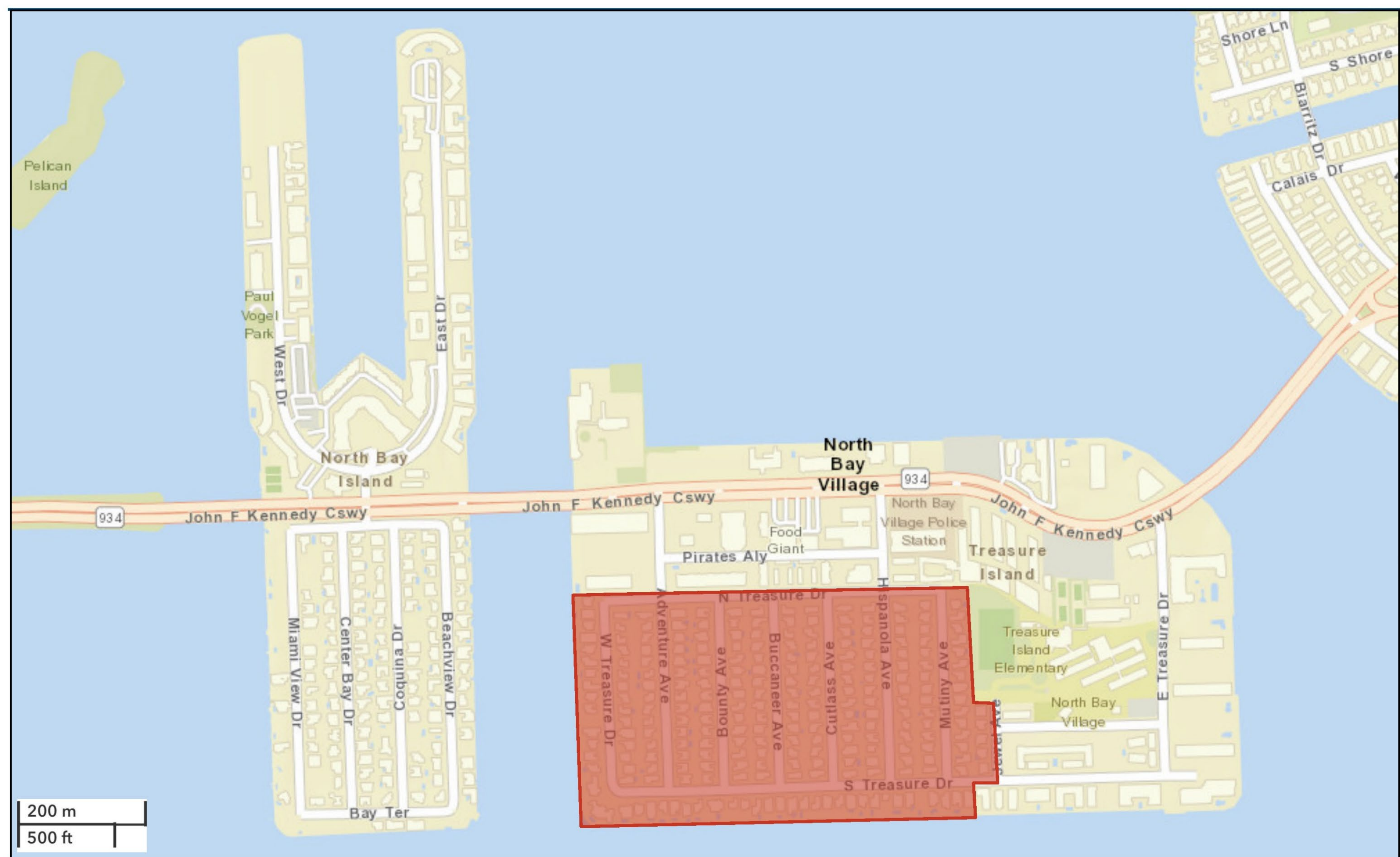
- 2020-2021: Rezoned the Kennedy Causeway commercial corridor through Treasure Island from General Commercial to T6-Transect Zone (mixed-use zoning)
- 2021: Updated the single-family residential zoning standards applicable to North Bay Island (RS-1)
- 2023: Overhauled zoning regulations that control high-density multifamily residential in most of Harbor Island and portions of Treasure Island

What is the Village addressing next?

RS-2 Zoning District



Focus: Single Family Residential Area



Process



Public Engagement

Desired Meeting Outcomes

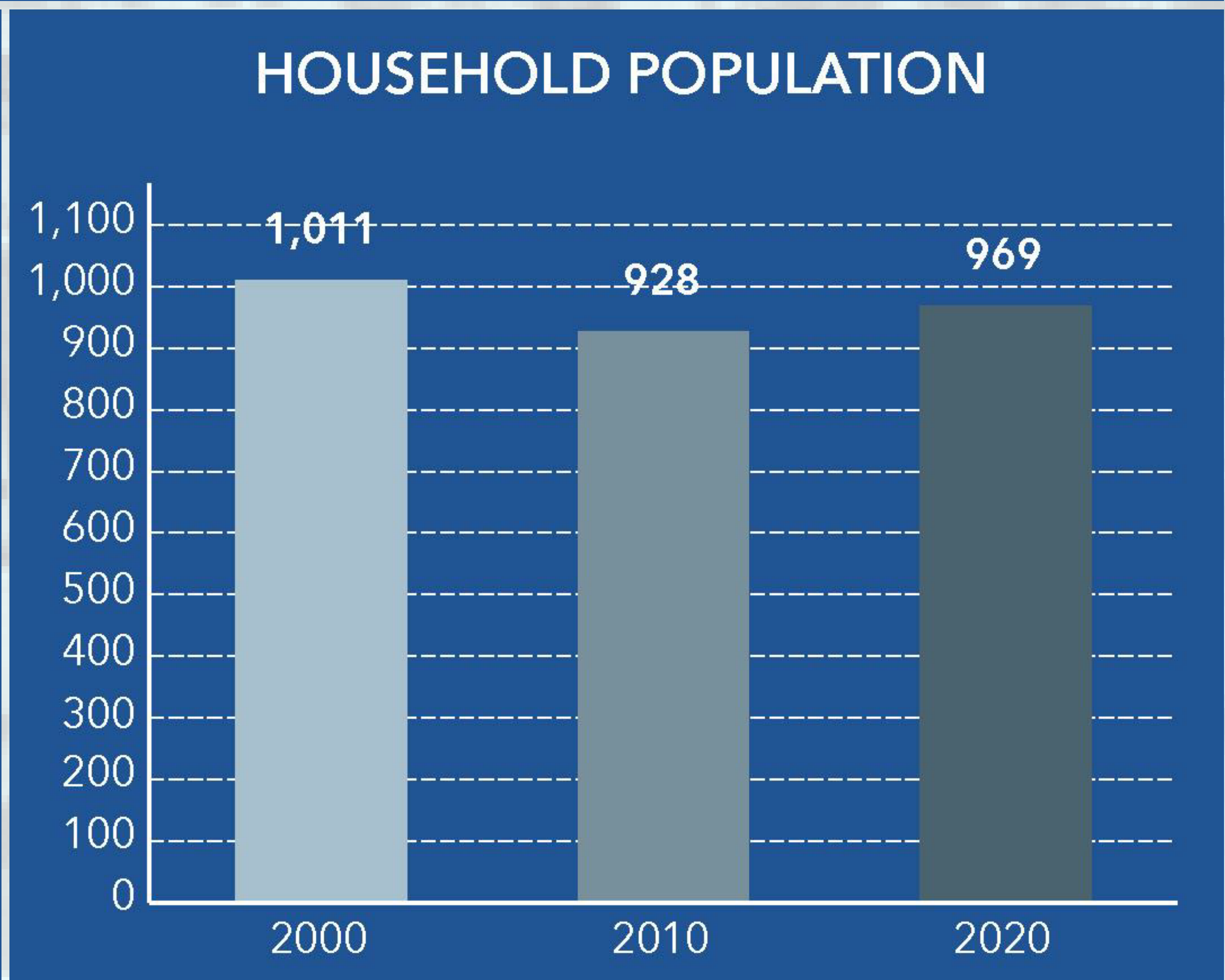
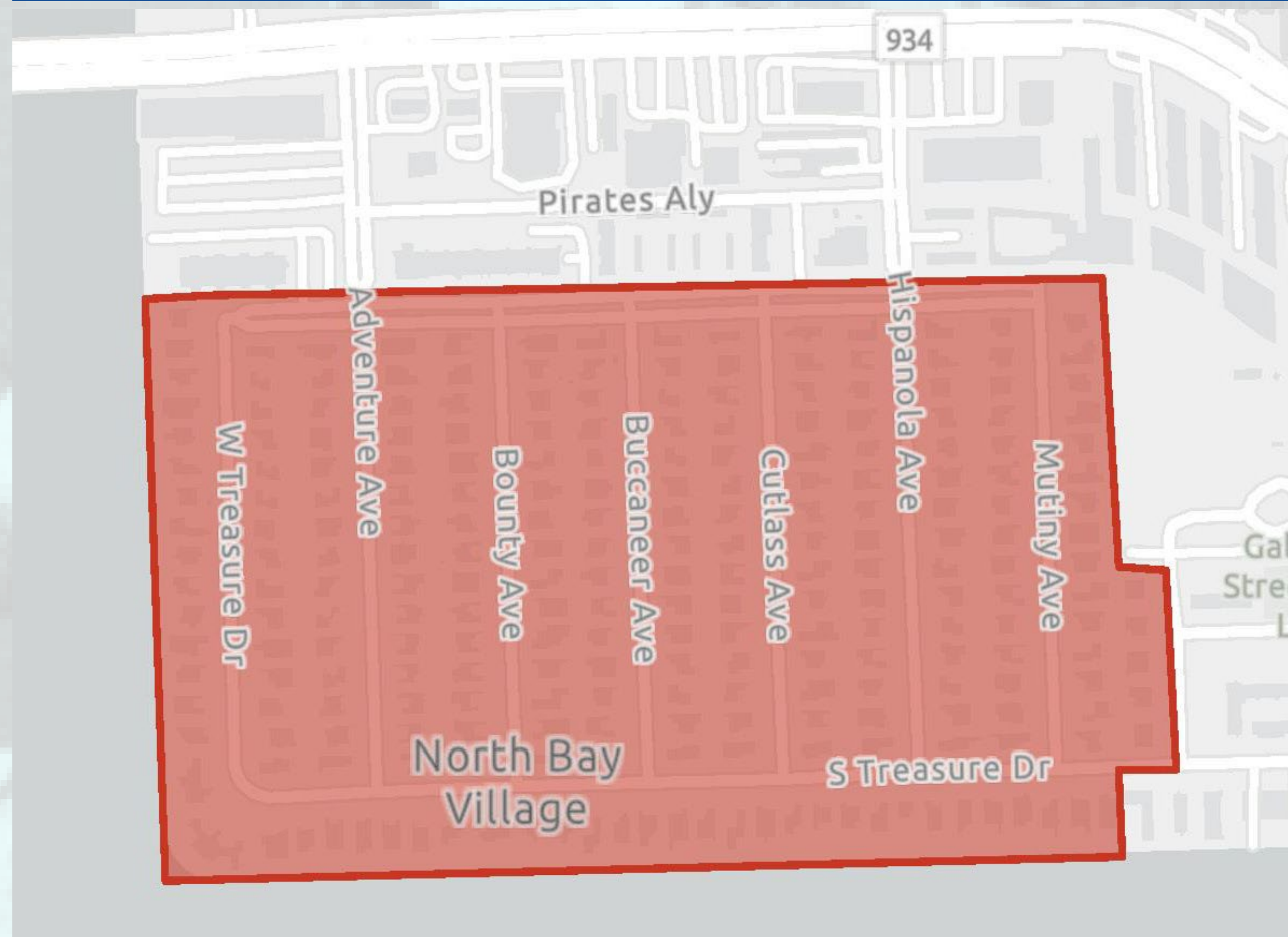
- Share information relevant to the topic
- Gain an understanding of the strengths and weaknesses of the RS-2 zoning and related regulations
- Collect range of perspectives on the topic
- Identify opportunities for improvement and areas of agreement as the basis for direction on necessary changes

Data Collection and Analysis

TREASURE ISLAND SINGLE-FAMILY NEIGHBORHOOD

KEY FACTS

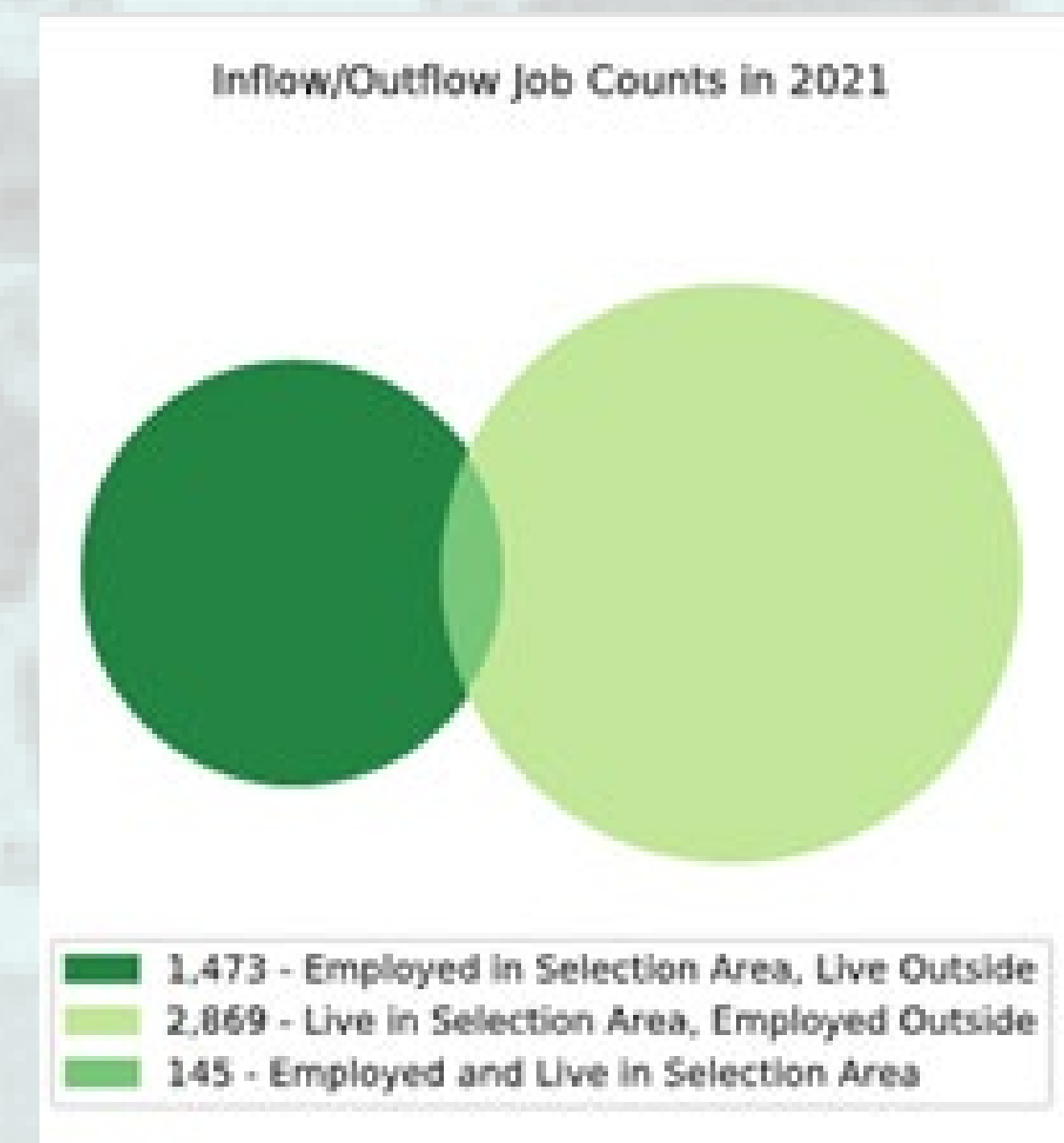
1,033	482	12,004.5	2.36	411	81.7
Total Population	Housing Units	Population Density	Average Household Size	Total Households	Diversity Index



Source: This infographic contains data provided by U.S. Census (2000, 2010, 2020).

Data Collection and Analysis

TREASURE ISLAND SINGLE-FAMILY NEIGHBORHOOD



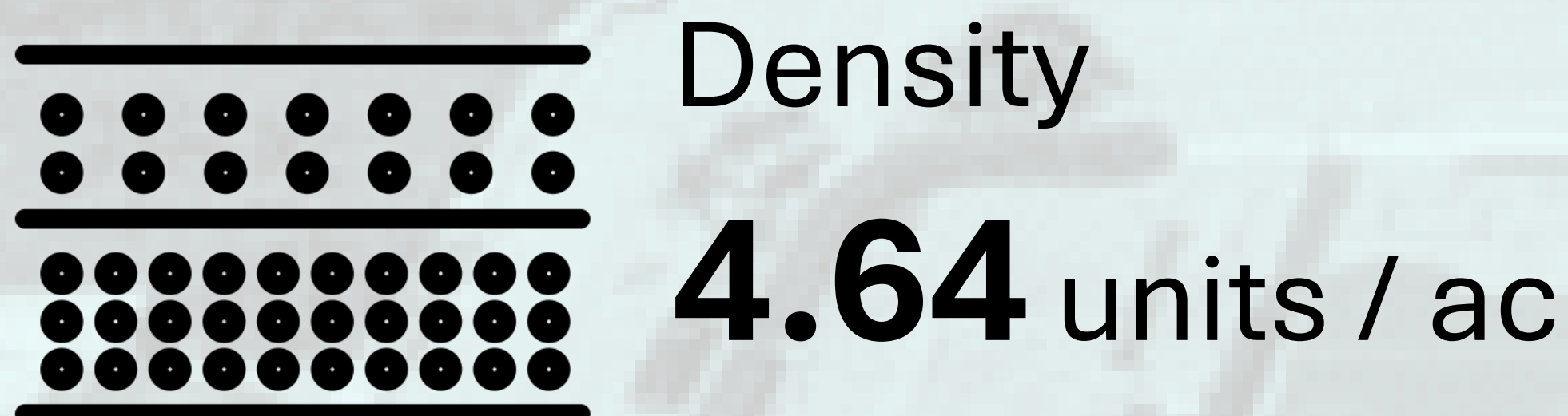
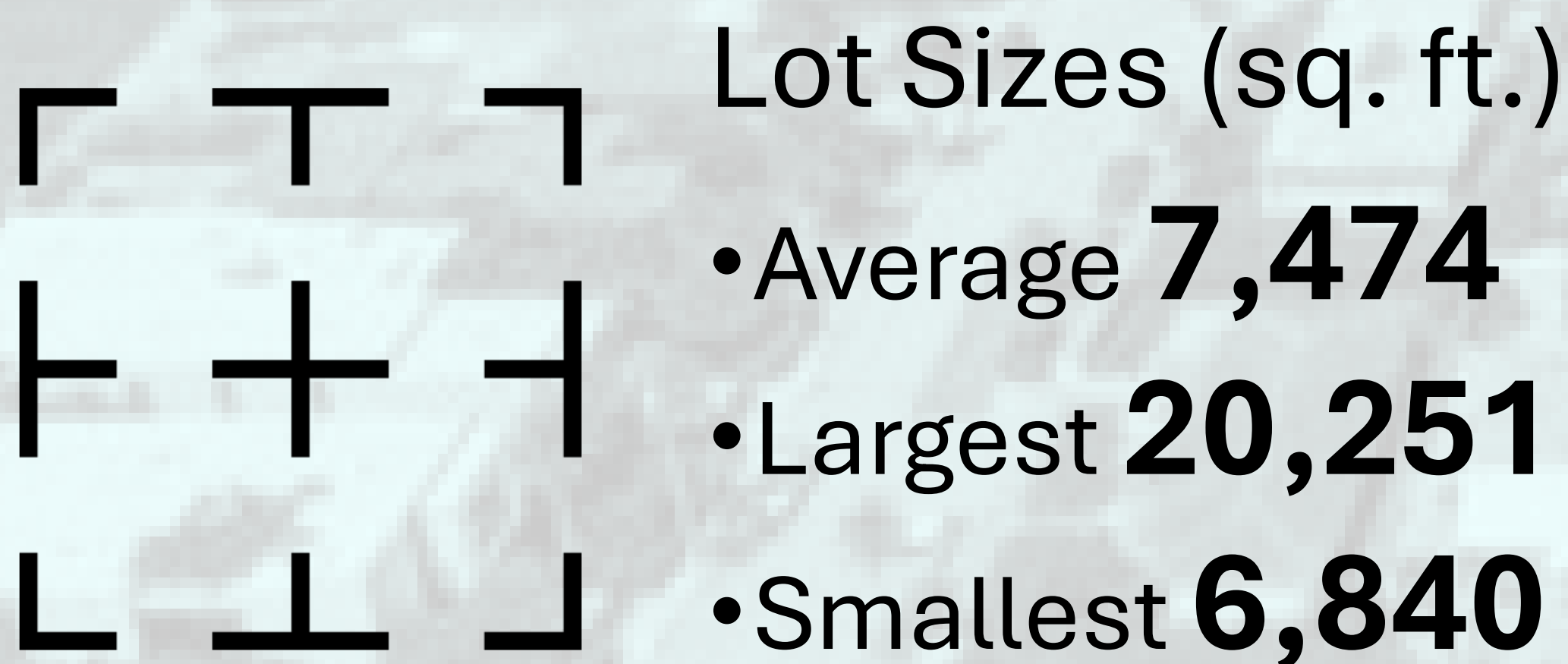
Inflow/Outflow Job Counts (All Jobs) 2021

	Count	Share
Employed in the Selection Area	1,618	100.0%
Employed in the Selection Area but Living Outside	1,473	91.0%
Employed and Living in the Selection Area	145	9.0%
Living in the Selection Area	3,014	100.0%
Living in the Selection Area but Employed Outside	2,869	95.2%
Living and Employed in the Selection Area	145	4.8%

Source: This infographic contains data provided by U.S. Census (2000, 2010, 2020).

Data Collection and Analysis

TREASURE ISLAND SINGLE-FAMILY NEIGHBORHOOD



Building Height

1-Story	210	85%
2-Story	21	9%
3-Story	6	2%
Info Unavailable	9	4%



Building Age

- Average: **69 years**
- Oldest Structure: **76 years**
Location: Adventure Avenue (1948)
- Newest Structure: **1 year or less**
Location: W. Treasure Drive (2023)

- Streets with highest turnover of structures West and South Treasure Drives and Adventure Ave.
- Long term ownership (10 years or more): **33%** of all homes

ZONING TOPICS

An aerial photograph of a residential neighborhood. In the foreground, there are several houses with prominent orange-tiled roofs. One house in the center has a large swimming pool. The houses are surrounded by lush greenery, including many palm trees. In the middle ground, there's a body of water, possibly a bay or canal, with more houses and buildings visible on the opposite shore. The background shows a city skyline under a blue sky with scattered white clouds.

1. District purpose
2. Permitted uses
3. Setbacks
4. Building height
5. Lot coverage / Open space
(Stormwater management)
6. Driveways / Parking
7. Other requirements
8. Other topics

ZONING DISTRICT PURPOSE (SEC. 8.10.B.1)

“The purpose of this District is to provide for medium-density single-family residential development in a relatively spacious setting, together with other principal uses as may be approved as use exceptions and such accessory uses as may be necessary and compatible. .”

PERMITTED USES (SEC. 8.10.B.2)

- a. Single-Family Residential Dwellings.
- b. Duly licensed Home-based Businesses pursuant to Section 559.955, Florida Statutes.
- c. Accessory Uses and Structures per Section 8.16.A.
- d. Use exceptions as may be approved under Section 8.11.

PROHIBITED USES (SEC. 8.10.B.4)

All other uses not specifically or provisionally permitted herein.

SITE DEVELOPMENT STANDARDS (SEC. 8.10.D.4)

Minimum lot size:

Area—6,000 square feet

Frontage—60 feet

Minimum yard setbacks:

Setback	Distance (Feet)
Front	20
Side (corner)	15
Side (interior)	7½
Rear	15
Waterfront	25

Minimum floor area:

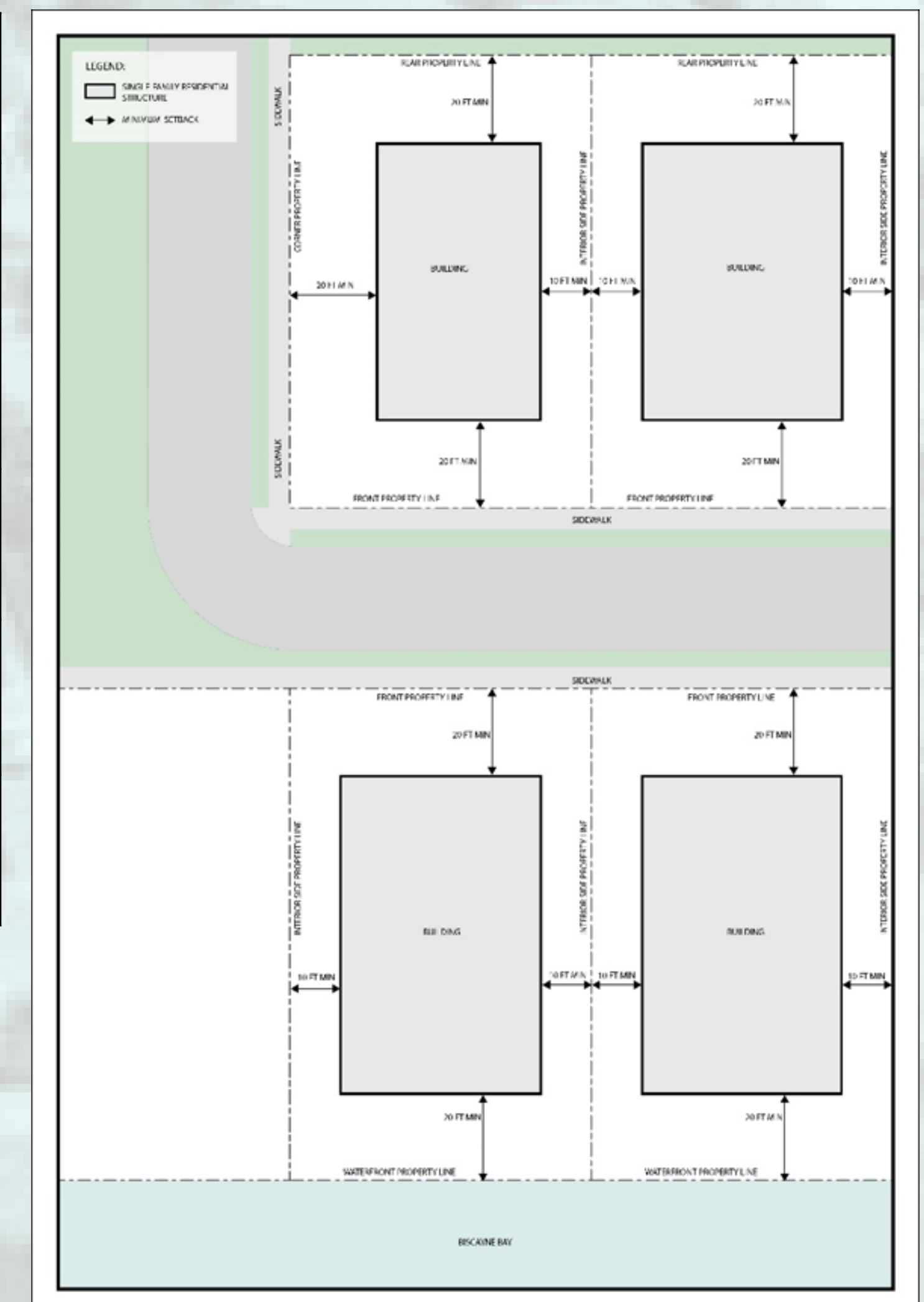
Building Type	Floor area (Sq. Ft.)
One story	1,500
Two story	2,000

NORTH BAY ISLAND (RS-1 ZONING DISTRICT)

APPROACH

Minimum yard setbacks:

Setback	Distance (Feet)
Front	20
Side (corner)	20
Side (int.)	10
Rear	20
Waterfront	20



SETBACK ENCROACHMENTS (SEC. 8.17.L)

Every part of every required front, side, and rear Yard Setback shall be open and unobstructed from the ground to the sky except as herein provided. For additional regulations specific to the T6-24 and T6-30 transect zone, see Chapter 15, Section 15.3.2. Section 15.7.B and C. The impervious surface area of any encroachment permitted herein shall be included in the calculation of maximum lot coverage, unless specified otherwise in this ULDC.

1. Cornices, roof overhangs, window air conditioning units, Awnings, chimneys, and sills may extend into a required side or rear yard, provided any such extension does not exceed 36 inches into the required yard.
2. Balconies shall be permitted to project to a maximum distance of 48 inches into the required Yard, provided there is a minimum clearance of eight (8) feet from the bottom of the balcony to the ground.
3. Fences and privacy walls as provided in Section 8.17.F.
4. Swimming pool, spa, hot tubs, and associated decking as provided Section 8.17.M
5. Signs as provided in Chapter 11.
6. Landscaping retaining Walls, parking curbs/bumpers, and other similar features, provided they do not exceed 6 inches in height. Pedestrian walkways, footpaths, and steps shall be set back a minimum of two (2) feet from any property line.
7. Light poles and flag poles as provided in Section 8.17(N)
8. Patios and terraces at the ground level may extend into a side or rear yard setback area a maximum of eighteen (18) inches, provided they do not exceed 6 inches in height from grade.
9. In single family districts only, the following additional setback encroachments are allowed:
 - a. Ground mounted mechanical equipment, including air conditioning equipment, pool equipment, heat pumps, water heaters, generators, and other similar equipment, may be placed in a side Yard Setback area; provided the unobstructed side setback area is not reduced by more than 50 percent of what is required in the Zoning District regulations and provided the equipment placed in the setback area does not operate above 70 decibels.
 - b. A garden window for the cultivation of small plants may extend into the Setback area not more than 24 inches.
 - c. Tiki huts, pergolas, trellises and sheds, where allowed, may extend into the Setback area a maximum of eighteen (18) inches, provided they not exceed a maximum height of ten (10) feet above grade.

SITE DEVELOPMENT STANDARDS (SEC. 8.10.D.4)

Building height:

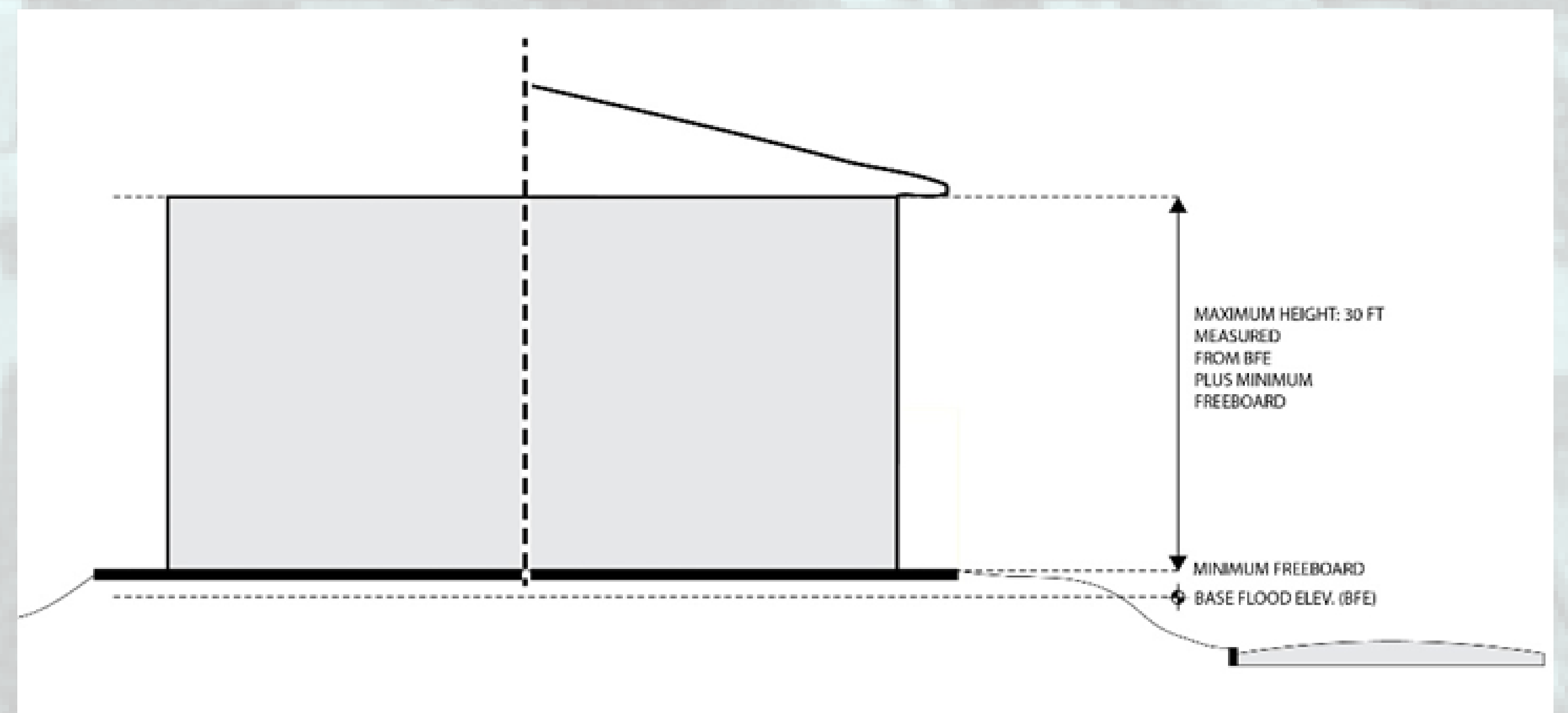
Three stories, not to exceed 35 feet above grade. *

***However**, building height is defined as being measured *from the required Base Flood Elevation (BFE) for the Lot, plus minimum freeboard*, to the top of the structural roof slab for a flat roof or to the highest eave of a pitched/sloped roof. (Chapter 3, Definitions, and Chapter 10, Flood Management)

NORTH BAY ISLAND (RS-1 ZONING DISTRICT) APPROACH

a. Maximum building height:

Maximum building height shall not to exceed 30 feet above Base Flood Elevation (BFE) plus minimum freeboard. Where a Structure is elevated pursuant to subsection 10.5.B., the ground level below the first elevated floor shall be designed in accordance with the requirements of subsection 8.10.A.5.f.



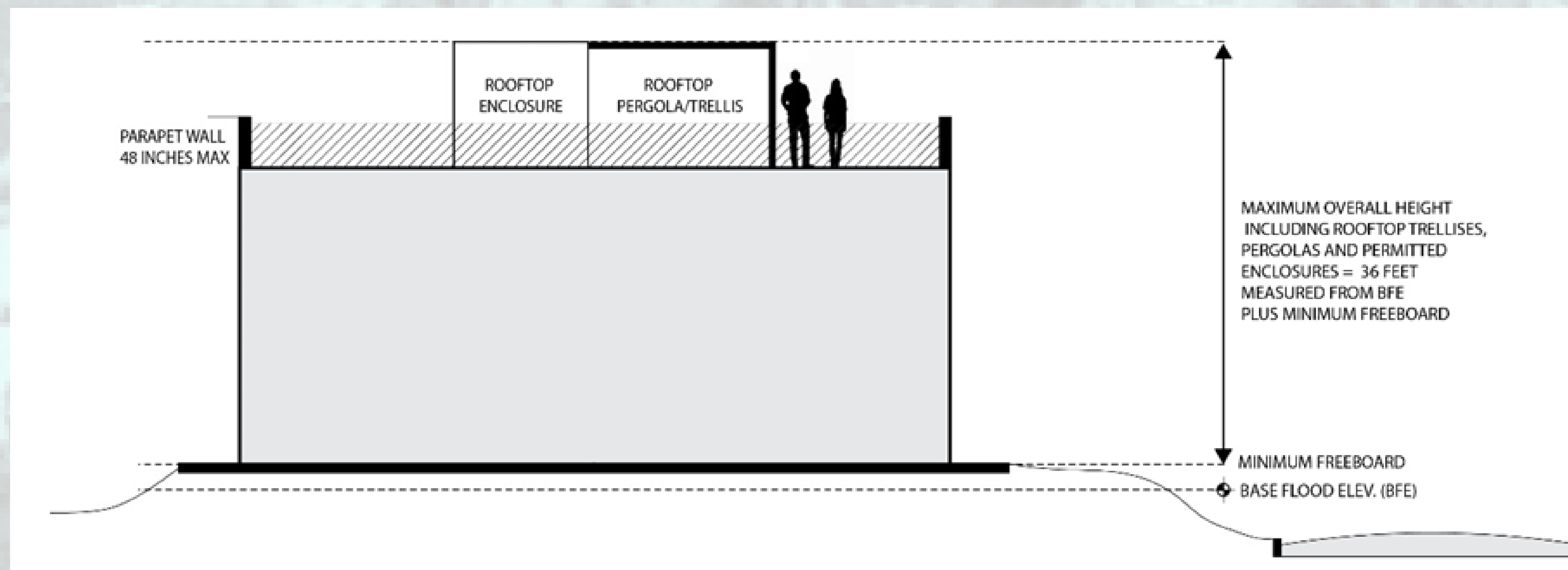
HEIGHT EXCEPTIONS (SEC. 8.17.H)

- House of Worship steeples, bell towers, chimneys, tanks, decorative features, roof access stairway or elevator not to exceed 100 square feet of enclosed area, elevator lift housing, air conditioning units, or other mechanical or functional features may exceed zoning district height requirements, except as may be otherwise stipulated herein. Stairway and elevator bulkheads shall be located as close to the center of the roof as possible and be visually recessive such that they do not become vertical extensions of exterior building elevations.
- Rooftop Solar Photovoltaic or Solar Water Heater systems ... by not more than five (5) feet.
- The structural (non-vegetative) components of a Green Roof ... by not more than five (5) feet...
- The top of a wind turbine ... by not more than ten (10) feet.
- Parapet wall railings associated with a roof deck or terrace, not to exceed 48 inches above the finished roof deck height.
- Rooftop decks and terraces, not to exceed six (6) inches above the main roofline. Built in planters, gardens, or similar landscaping areas, not to exceed 3.5 feet above the finished roof deck height ... immediately abutting the roof deck area. All landscape material shall be appropriately secured.
- Rooftop trellises or pergolas, provided such structures have a roof of cross rafters or latticework and the area covered is no more than 50% of the terrace or deck area allowed in Subsection 8.16.A.1.a.(5)(a). Trellises and pergolas shall be appropriately secured against an elevator or staircase or as required by the Florida Building Code.

HEIGHT EXCEPTIONS (SEC. 8.17.H)

In the RS-1 district, the following shall apply:

- The overall height of a Building and any rooftop structures including trellises, pergolas, stairway/elevator bulkheads, or rooftop enclosures permitted in accordance with Subsection 8.16.A.1.a.5.(b), shall not exceed 36 feet measured from BFE plus required freeboard.

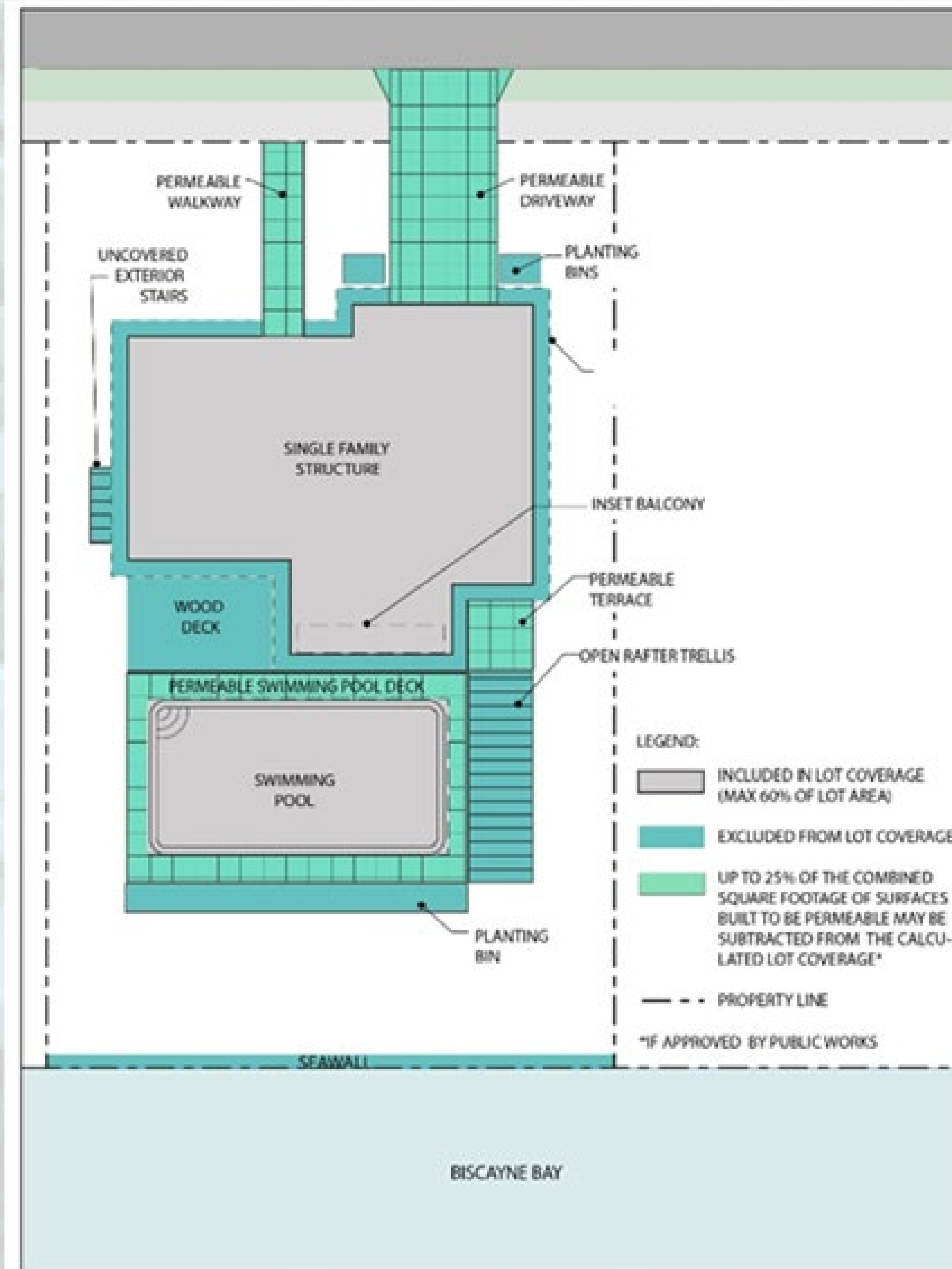


LOT COVERAGE

No provisions

NORTH BAY ISLAND (RS-1 ZONING DISTRICT) APPROACH

(1) Maximum lot coverage – 60% of the total Lot Area.



PERMEABILITY

No provisions

GREEN SPACE

No provisions

NORTH BAY ISLAND (RS-1 ZONING DISTRICT) APPROACH

(2) Pervious Areas: Up to 25% of the combined square footage of all parking areas, driveways, walkways, patios and terraces built with permeable materials may be subtracted from the maximum calculated impervious coverage on a lot, if approved by the Director of Public Works...

(3) Green Space: A minimum of twenty percent (20%) of the total Lot Area ... as unobstructed Green Space and shall be landscaped. No less than forty percent (40%) of the space in the Front Yard area shall be unobstructed, landscaped Green Space. For maximum vehicular and impervious area allowed in the Front Yard of single-family residential properties, refer to Sec. 9.3.E.2.c.

ACCESSORY USES (SEC. 8.16.A)

1) In all residential districts:

1) Private garages or carports provided:

- a) No solid wall exterior facades or enclosures are allowed;
- b) Enclosures must create window facades proportional to the existing windows at the front of the home;
- c) A landscaped area is created in front of the enclosed garage to a depth of 24" inches and covering the width of the original garage opening; and
- d) Such greenspace shall be cut out from any existing driveway material that may run up to the new enclosure, or enclosure may maintain a garage door facade.

2) Private swimming pools, cabanas, whirlpools, saunas, spas, and hot tubs, tiki huts, patios, pergolas, trellises, and similar.

3) Private tennis, basketball, or volleyball courts or other similar outdoor recreational uses and facilities.

4) Storage structures (sheds) provided no such structure exceeds 150 square feet in gross floor area and is not more than 12 feet high from grade.

2) In all zoning districts

1) Television and radio antenna structures, except for those of a microwave relay or transmission nature, subject to the provisions of Section 8.13(N).

2) Caretaker quarters when such quarters are associated with an active construction project.

3) Storage areas within structures containing multifamily residential dwelling units, provided the storage is reserved for residents of the subject property and provided the storage area does not exceed 5% of the gross floor area of the structure.

4) Doghouse, pens, and other similar structures for the keeping of commonly accepted household pets, provided, however, the requirements of Sections 91.03 and 91.10 through 91.12 of the Village Code of Ordinances are complied with.

5) Disaster Shelters

6) Green building features.

USE EXCEPTIONS (SEC. 8.11)

The Village Commission may permit the following buildings and uses as use exceptions, provided there are clear indications that such exceptions will not substantially affect adversely the uses permitted in these regulations of adjacent property.

1. Structural alterations to special uses, after these uses are approved by the Village Commission.
2. Other special uses as may be enumerated in specific Zoning Districts.
3. Assisted Living Facility or Nursing Facility.
4. Temporary sales center/marketing office approval for no more than a period of up to twelve (12) months, renewable administratively by the Village Manager for up to two (2) additional time twelve (12) month periods for a maximum of thirty-six (36) months.
5. Farmers' market.
6. Uses that provide a public benefit (parks, open space, and other public amenities) that will not adversely affect the existing adjacent uses, the uses permitted in the zoning district of the subject property, or the uses permitted in the zoning district of the adjacent properties.
7. Parking garages as stand-alone, principal structures in multifamily residential zoning districts, provided their purpose is to serve adjacent multifamily residential development and subject to the design standards established in Sec. 9.3.E.
8. Temporary construction trailers and/or units used for the storage of construction materials, following issuance of a development order for a project, subject to ...limitations:

PARKING (SEC. 9.3.C.)

RECOMMENDATIONS MAY BE IMPACTED BY OUTCOMES OF ONGOING PARKING STUDY

C. Minimum, or maximum or recommended number of off-street parking spaces required.

1. Fractions of a space: All uses shall be subject to the following parking space requirements unless additional spaces may be required as the condition for securing a site plan approval. All fractional space requirements shall be rounded off to the next highest number.
2. Residential uses
 - a. Single-family:
 - (1) Two spaces for each Dwelling Unit.

PAVING AND DRAINAGE (SEC 9.3.E)

1. All off-street parking facilities shall be surfaced with a minimum of a rolled six-inch rock base and one-inch durable weatherproof asphaltic pavement...
2. All required off-street parking facilities shall be properly drained so that no nuisance will be caused to adjacent or nearby properties...
3. Maximum vehicular and impervious area of *Front Yard* for single family properties. *Off-Street Parking* shall be placed and configured on each single-family *Lot* or parcel in such a manner that the percentage of total front yard area that is occupied by vehicular use for parking spaces, aisles, driveways and by other impervious surfaces such as walkways, shall not exceed the following:

	Maximum driveway width (feet)	Maximum impervious surface (%) *
One-car linear driveway	12	50
Two-car linear driveway	22	60
Circular driveway	10	60
Ribbon driveway	2.5 per ribbon	50

*Inclusive of all impervious surfaces in the front yard

LIMITATIONS OF THE USE OF ON-STREET AND OFF-STREET PARKING AREAS (SEC. 9.5)

A. Storage, sales or repair of merchandise or vehicles; display of signs or advertising devices; and storage or parking of commercial vehicles prohibited.

The storage, sale or repair of merchandise or vehicles or the display of *Signs* or advertising devices on vehicles, *Structures* or *Land*, and the storage and parking of commercial vehicles...shall not be permitted in any off-street residential parking areas. This provision shall not prohibit persons from parking vehicles in such areas that contain information that is required by any applicable laws, ordinances or regulations

B. Limits on duration and time of parking of commercial vehicles.

...it shall be unlawful to park or store any commercial vehicle on any street or public right of way unless they are actively providing a professional job, typically during a period of two hours between 7:00 a.m. and 6:00 p.m., or at any time between 6:00 p.m. and 7:00 a.m.

..."commercial vehicle," ...[is a] motor vehicle of one-ton capacity or more or a motor vehicle, trailer, semi tractor, cargo van, truck, bus, or any concession vehicle of any size or capacity which is used in commerce.

C. Exceptions to [Section 9.5B](#).

...the placement of a temporary (magnetic or otherwise) cover over the sign, insignia, trademark, trade name or business designation shall cause the vehicle to be in compliance.

The foregoing prohibition shall not apply to vehicles used by licensed contractors or service establishments actually doing work on the premises reasonably proximate to the location where parked...

OTHER STANDARDS AND REQUIREMENTS

Green Building Program (Sec. 8.20)

Single-family residential shall achieve a minimum of twelve (12) points.

Incentives for green building (Sec 8.31)

To promote the health, safety, and general welfare of the citizens the Village shall provide incentives for voluntary incorporation of green building options.

- A. The incentives shall apply to any development project not required by Section 8.19 to incorporate green building requirements.
- B. To be eligible for these incentives, an applicant must demonstrate they have achieved a minimum of twelve (12) points from the development options table in Section 8.21 -to qualify for the incentive.
- C. The Village shall explore providing incentives to eligible and qualified applicants, such as but not limited to:
 1. Expedited processing for Building Permits.
 2. Reduced permitting Fee or building permit fee rebate, which shall, be established and amended, by Resolution of the Village Commission.
 3. Potential grants to assist with green and resilient retrofit projects for qualified households through the Village's Workforce Housing Trust.
 4. Tax credit or tax exemption on the local portion of the property tax bill.

Next Steps

- Process input received today
- Develop preliminary responses/options
- Schedule follow-up session to present initial responses/options (Tentatively end of February – subject to change!)



Thank you for
participating!

Q&A

January 17, 2024

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