

Exhibit B

Project Space Needs

The accompanying building program was prepared by Wolfberg, Alvarez & Partners in 2016 pursuant to considerable discussion with Village and County Fire Rescue staff. After further review, as part of this RFP, the Village proposes for the Project to include the following space needs:

- Section A. Commission Chambers (2,782 Square Feet, or SF): as presented
- Section B. Commission Offices:
 1. Mayor (227 SF) and Vice Mayor (176 SF) offices, State Representative (176 SF), Conference Room (259 SF), and Coffee Alcove (86 SF) as presented
 2. Commission Offices revised to be three individual offices (176 SF each, for a total of 528 SF), instead of one shared office (527 SF)

Total SF for Commission Offices: 1,451 SF, not the original 1,450 SF

- Section C. Village Administrative Offices: as presented, minus Code Enforcement Office (567 SF), minus Code Enforcement File Room (95 SF) and minus conference room (945 SF)

Total SF for Village Administrative Offices: 5,460 SF, not the original 7,067 SF

- Section D. Community Center (8,303 SF): not part of this Project
- Section E. Police Headquarters and Dispatch (7,803 SF): not part of this Project
- Section F. Fire Rescue Station (10,888 SF): as presented
- Section G. Front Counter and Building Department: as presented but Reviewer Workroom can be reduced from 945 SF to 400 SF, for a total of 1,546 SF, not the original 2,091 SF
- Section H. Village Hall Common Areas: depending on the ultimate building and floor layout, this can be modified but is approximately 4,793 SF
- Section I. Village Hall Common Areas: depending on the ultimate building and floor layout, this can be modified but is approximately 8,013 SF
- Section J. Parking Garage: rather than 108 requested parking spaces total for Village Hall and Fire Rescue combined, the request is for a minimum of 69 parking spaces for Village Hall and Fire Rescue combined (54 Village Hall parking spaces and 15 Fire Rescue parking spaces). Ultimately, the space needed is contingent upon building and floor layout.

Total Space Needs:

- Village Hall: 24,045 SF
- Fire Rescue Station: 10,888 SF
- Parking Spaces: Village Hall (54) and Fire Rescue (15)



NORTH BAY VILLAGE



CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX

OCTOBER 25, 2016



ARCHITECTURE - ENGINEERING

WOLFBERG ALVAREZ & PARTNERS

3225 Aviation Ave., Suite 400 Miami, FL 33133

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SECTION

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INTRODUCTION

INTRODUCTION

This report prepared by Wolfberg Alvarez & Partners provides an analysis, evaluation, and documentation of the space needs for a new North Bay Village Municipal Center and test the selected site located at 7903 East Drive, in North Bay Village, with three (3) design concepts of varying size and program for the purpose of ultimately defining a final scope, approximate size and estimated construction budget for a new municipal center to be evaluated by Village Commissioners. The site consist of two parcels, the larger of which is currently owned by the Village. A smaller triangular parcel not owned by the Village has been determined to be critical to the development of the project and has been targeted for purchase or eminent domain.

The report encompass several key components.

PROGRAMMING

The programmatic information contained herein was compiled primarily from staff interviews, as well as walkthroughs of the existing facility. Wolfberg Alvarez & Partners (WA) personnel conducted site visits and interviews with City Staff to review and identify the Village's current work flow, and proximity needs within and between departments for both staff and visitors. The interviews also identified current as well as future employment projections for the various departments. Additionally, WA contacted and coordinated with representatives from the Miami Dade Fire Rescue Department to compile the requirements for a new the Fire Station Component of the project. Lastly, WA attended a public workshop on April 11, 2016 whereas additional information was gathered from the public as well as the Village's Commission members and Mayor.

The resulting data collected was consolidated into a building program detailing each department, each of their respective spaces, the building areas associated with each space and their projected staffing. The program includes summaries for each department, as well as additional building areas required for building support systems, utilities, circulation, walls, etc. Additionally diagrams were produced for prototypical offices, conference rooms, storage rooms, and special areas to define the types of spaces, their optimum sizes, and the required net areas of the major components identified in the program.



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INTRODUCTION

ZONING ANALYSIS

As part of the process of analyzing and testing the selected site with the projected areas identified throughout the programming process, WA research the existing zoning parameters governing the site. In researching the land development regulations set forth by the North Bay Village Zoning Code, the analysis yield numerous issues directly impacting the ability to maximize the site and affecting the efficiency of possible designs including setback requirements, upper level massing step-backs, proposed uses, number of stories proposed for parking, number of parking spaces required, the size of parking spaces, the width of vehicular drives, the amount of pervious area, and upper level projections, etc. The analysis included in this report was shared with both the Village Administration and the Village's Zoning Administrator, Mr. Jim LaRue, to determine the appropriate approval process moving forward. Ultimately it was decided that in lieu of requesting a multitude of variances, the proposed Village Hall site required an ordinance for a new "Government Use District" zone and development standards that would specifically allow for all the proposed uses within the intensity levels being required. The new ordinance was presented to the Planning and Zoning Board on September 6th , 2016, who recommended its approval. The ordinance now goes to the Village Commission for final approval and adoption.

PARKING REQUIREMENTS ANALYSIS

Due to amount of program being proposed for the new Municipal Complex and the limited available real-estate, vertical structured parking becomes the critical driving force in both development of the design and the construction cost of the building. Typically, the zoning code establishes the minimum required parking based on general proposed uses and their associated building areas. However, being that the uses being proposed here are unique to this municipal facility, the number of spaces established by code exceed the Village's estimated actual needs. In an effort to reduce building area and construction costs associated with excess parking, Village Administration compiled data and undertook an analysis to determine their actual parking needs. This information was used to design the size of the garage and limit the parking levels being proposed to three. At the Commission's discretion, additional levels can be added to any of the schemes if additional inventory is deemed necessary.



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INTRODUCTION

CONCEPTUAL DESIGNS

To afford the Village Commission varying design options to evaluate and ultimately select, WA prepared three (3) different design concepts each incorporating different programmatic requirements. The programmatic components for each scheme was determined in consultation with Village Administration based on both budgetary concerns and opinions express by varying members of the Village Commission. The schemes consists of the following:

- Scheme 1: Proposes to include all the components identified by the programming process. The “all-inclusive” design accommodates a ground floor Fire Rescue Station, a Police Headquarters and Dispatch, Commission Chambers, Commission Offices, Village Administrative Offices, Front Counter Operations & Building Department, a Community Center, and parking to support all of the above noted activities.
- Scheme 2: Proposes to similarly include all the components provided for in Scheme 1, except that it excludes the Community Center and its associated spaces under the premise that these can be located elsewhere in the Village.
- Scheme 3: Proposes to develop a smaller facility to accommodate only the Fire Rescue Station, a Police Headquarters and Dispatch, Commission Chambers, Commission Offices and the parking required to support these activities. Under this scenario, the Village Administrative Offices, Front Counter Operations & Building Department would remain at their current location.



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RENDERINGS / INTERIOR & EXTERIOR VIEWS (OPTIONS)

As a companion to the three conceptual design options being offered for evaluation, WA also prepared a series of renderings illustrating possible interior and exterior conceptual visions for the new Municipal Center. For the interior, renderings of the Main Lobby and the Council Chambers depict two key public spaces with the style, character, materials and overall ambiance commensurate with a contemporary City Hall.

For the exterior, various material options are proposed for consideration. Although the number of floors, overall size and massing of the building is totally dependent on the final programmatic requirements ultimately chosen by the Commission, the overall exterior “look” can range based on material selections and façade treatments of the various components. Included herein are several optional exterior façades with treatments depicting optional levels of solidity & transparency ranging from precast paneling with punctured openings, to glass, to metal skins.

ORDER OF MAGNITUDE CONSTRUCTION COST ESTIMATE

To assist the Village in their ultimate decision of which scheme to pursue, WA prepared an order of magnitude construction cost estimate for each of the three (3) schemes based on the estimated building areas of the various components and historical costs data. The Village’s original budget for this facility was approximately \$14.4 million. All three schemes exceed this amount, with scheme 3 being the least expensive and closest to the original budget.



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SECTION

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BUILDING PROGRAM SUMMARY

Department / Area Designation	No. of Personnel	Total Net Area	Dept. Circ. Factor	Adjusted Area
A. Commission Chambers	0	2,415	1.15	2,782
B. Commission Offices	6	1,074	1.35	1,450
C. Village Administrative Offices	20	5,235	1.35	7,067
D. Community Center	0	6,150	1.35	8,303
E. Police Headquarters & Dispatch	34	5,881	1.33	7,803
F. Fire Rescue Station	14	8,858	1.23	10,888
G. Front Counter & Building Department	11	1,695	1.23	2,091
H. Village Hall Common Areas	1	3,550	1.35	4,793
I. Building Support	0	6,410	1.25	8,013
Subtotal:	86	41,268	1.29	53,189
Building Gross Factor:	1.17			62,231 gsf (exclusive of parking garage)
J. Parking Garage	108	parking spaces		69,344 gsf
Average Area per space:	642	sf per space		

Programming Data Collection Notes

- * Data collected from Mr. Frank Rollason, NBV City Manager
- * Data collected from Mr. Frank Rollason, NBV City Manager
- * Data collected from Mr. Frank Rollason, NBV City Manager
- * Specific program pending. Preliminary information gathered from Commission during 4/11/16 Workshop.
- * Data collected from Mr. Carlos Noriega, NBV Police Chief
- * Data collected from Mr. Angel Lamela with Miami Dade Fire Rescue Department.
- * Data collected from Mr. Frank Rollason, NBV City Manager
- * Data on Minimum Parking Requirements supplied by Village Administration



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BUILDING PROGRAM

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A. Commission Chambers

Adjacent to Commission Offices

A1	Chambers	0	1	1,500	1,500	1.15	1,725	11	Flexible seating for 50 people, staff table and seating at rear for 6 people
A2	Dais / Platform	0	1	400	400	1.15	460	11	Elevated Dais, modesty panel, seating for 5 members, accessible ramp.
A3	Staff Seating	0	4	30	120	1.15	138	11	Seating for 4, adjacent to Dais
A4	Presenter's Podium / Area	0	1	25	25	1.35	34	11	
A5	A/V Room	0	1	120	120	1.15	138		
A6	Chair Storage Room	0	1	160	160	1.15	184		
A7	Kitchen Alcove	0	1	90	90	1.15	104	11	
SUBTOTAL:		0	10	2,325	2,415	1.15	2,782		

B. Commission Offices

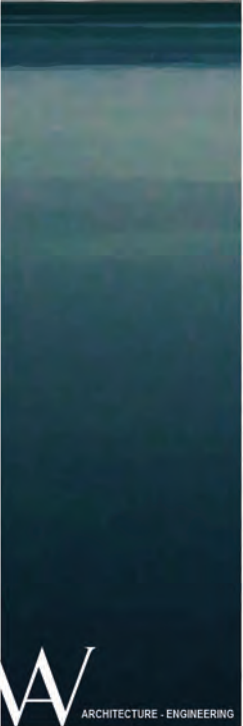
Adjacent to Chambers

B1	Mayor's Office	1	1	168	168	1.35	227	2a	Private office, guest seating for 2
B2	Vice Mayor's Office	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
B3	Commissioner's Office	3	3	130	390	1.35	527	2c	Private office, guest seating for 2
B4	State Representative's Office	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
B5	Conference Room	0	1	192	192	1.35	259	6b	Seating for 6 people
B6	Coffee Alcove	0	1	64	64	1.35	86		May be shared
SUBTOTAL:		6	8	814	1,074	1.35	1,450		



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C. Village Administrative Offices					Adjacent to Commission Offices				
C1	City Manager's Offices								
C1.01	City Manager	1	1	300	300	1.35	405	2f	Private office, guest seating for 8
C1.02	Executive Assistant	1	1	168	168	1.35	227		Assistant to Manager & Commission, private office, guest seating for 2, interconnected to Manager's Office and adjacent to Deputy Manager
C1.03	Deputy Manager/HR Director	1	1	217	217	1.35	293	2e	Private office, guest seating for 4, 4 filing cabinets
C1.04	HR Clerk	1	1	130	130	1.35	176	2c	Private office, file cabinets
C2	Finance Department								
C2.01	Finance Director's Office	1	1	168	168	1.35	227	2a	Private office, guest seating for 4
C2.02	Senior Accountant	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
C2.03	Payroll Clerk	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
C2.04	Account Clerk	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
C2.05	Open Office (future position)	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
C2.06	File Room	0	1	140	140	1.35	189	3a	10 filing cabinets, future office expansion
C3	Village Clerk								
C3.01	Village Clerk's Office	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
C3.02	Deputy Clerk's Office	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
C3.03	File Room	1	1	400	400	1.35	540		
C3.04	Property Records Room	0	1	330	330	1.35	446	3b	50 lf of high storage open shelving for banker boxes, and cubies for approximately 150 role of plans
C4	Public Works Department								
C4.01	PW Director	1	1	168	168	1.35	227	2a	Private office, guest seating for 2
C4.02	Assistant	1	1	130	130	1.35	176	2c	Private office, files
C4.03	Open Office (future position)	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
C4.04	PW Workroom/Storage	0	1	130	130	1.35	176		3 filing cabinets, work table, storage for boards
C5	Code Enforcement								
C5.01	CE Officer	3	3	140	420	1.35	567		Private office, guest seating for 2
C5.02	CE File Room	0	1	70	70	1.35	95		Secured file room for 4 filing cabinets
C6	IT Tech	1	1	120	120	1.35	162		Private office, work area for computers, storage cabinet
C7	Common Areas								
C7.01	Reception	0	1	120	120	1.35	162		Walk-in reception, guest seating for 4
C7.02	Receptionist	1	1	48	48	1.35	65	1b	6x8 Cubicle
C7.03	Breakroom	0	1	220	220	1.35	297		Seating for 8, 1 refrigerator, sink, microwave, minimal cabinets.
C7.04	Conference Room	0	2	350	700	1.35	945	6	Seating for 12, one shared with Finance
C7.05	Copy Room	0	1	96	96	1.35	130	4	Enclosed Room, centrally located
C7.06	Community Events Storage Room	0	1	250	250	1.35	338		
SUBTOTAL:		20	30	4,605	5,235	1.35	7,067		



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D. Community Center								Size and types of programs to be determined	
D1	Multipurpose Room	0	1	3,300	3,300	1.35	4,455	12	To serve banquet seating for a total of 100 persons as well as smaller venues for meetings, yoga, and other activities.
D2	Kitchen	0	1	400	400	1.35	540	12	
D3	Table/Chair Storage	0	1	300	300	1.35	405	12	Full kitchen, pantry
D4	Public Reception / Lobby	0	1	300	300	1.35	405		
D5	Pool Restrooms	0	2	175	350	1.35	473		
D6	Gym / Fitness Room	0	1	1,000	1,000	1.35	1,350		
D7	Multipurpose / Mtgs / Joga	0	1	500	500	1.35	675		
SUBTOTAL:		0	8	5,975	6,150	1.35	8,303		

E. Police Headquarters & Dispatch								40 staff / 3 shifts	
E1	Reception	0	1	144	144	1.35	194	8	Guest seating for 5, secured entrance and bullet proof pass-through window to Department.
E2	Property Evidence Room	0	1	120	120	1.35	162		Storage room with Drop-box, open shelves
E3	Internal Affairs	1	1	130	130	1.35	176	2c	PT officer, guest seating for 2, secured cabinet 2x3x6, adjacent to Chief.
E4	Accreditation Officer	1	1	130	130	1.35	176	2c	Private office, file cabinets
E5	Chief of Police	1	1	168	168	1.35	227	2a	Private office, guest seating for 2, small conf. table for 4
E6	Executive Assistant	1	1	72	72	1.35	97	1c	8ft x 9ft Cubicle in open area adjacent to Chief
E7	Police Commander	1	1	168	168	1.35	227	2b	Private office, guest seating for 2
E8	Patrol Squad Room								Enclosed suite.
	E8.01 Officer Stations	14	4	40	160	1.35	216	1a	6x6 cubicle, shared amongst 14 officers through shifts
	E8.02 Supervisors	6	2	130	260	1.35	351	2c	Private office, shared
	E8.03 Lieutenant	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
	E8.04 Roll Call Room	0	1	300	300	1.35	405	13	podium, classroom seating for 12, secured storage cabinet, open to squad room
E9	Detective Room								
	E9.01 Detective Stations	4	4	40	160	1.35	216	1a	6x6 cubicle
	E9.02 Lieutenant	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
	E9.03 Interview Room	0	1	130	130	1.35	176	2c	Private office, guest seating for 2, one-way glass to corridor
	E9.04 Open Filing	0	3	5	15	1.35	20		Alcove along corridor, 18 x 36 cabinets, record storage
	E9.05 Arms Locker	0	1	6	6	1.35	8		Alcove along corridor, 24 x 36 cabinet



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E10 Communications / Dispatch Suite								Secured access into suite
E10.01 Dispatch Console	1	1	80	80	1.35	108		8x10
E10.02 Supervisor	1	1	130	130	1.35	176	2c	Private office, guest seating for 2
E10.03 Kitchen alcove	0	1	40	40	1.35	54		1 refrigerator, sink, microwave, minimal cabinets, open to dispatch
E10.04 Server Room	0	1	40	40	1.35	54		
E10.04 Records Control	1	1	168	168	1.35	227		1- 6x6 cubicle for records clerk, 3 storage cabinets, 3 filing cabinets, copy machine
E11 Copy Room	0	1	96	96	1.35	130	4	Work surface, upper and lower storage, copy machine.
E12 Police Dept. Storage	0	1	144	144	1.35	194		
E13 Conference Room	0	1	350	350	1.35	473	6a	Seating for 12
E14 Training Classroom	0	1	540	540	1.35	729	7	Classroom, collegiate seating for 20
E15 Breakroom	0	1	168	168	1.35	227	5	Seating for 4, 1 refrigerator, sink, microwave, minimal cabinets, adjacent to training classroom.
E16 Armory	0	1	100	100	1.35	135		Fortified room, secured steel door
E17 Men's Locker Room	0	1	350	350	1.35	473		35 lockers, 1 shower
E18 Women's Locker Room	0	1	150	150	1.35	203		10 lockers, 1 shower
E19 Men's Restroom	0	1	180	180	1.35	243		1 WC / 1 Urinal / 2 sinks
E20 Women's Restroom	0	1	180	180	1.35	243		2 WC / 2 sinks
E21 Gym	0	1	0	0	1.35	0		To be shared with Fire Department, if room is located outside both departments.
E22 Janitor	0	1	30	30	1.35	41		
E23 Processing / Holding Cell	0	2	156	312	1.20	374	10	Desk, bench, exposed toilet/sink combo behind privacy wall, accessed from sally-port
E24 Vehicular Sally port	0	1	250	250	1.20	300		secured garage for 1 vehicle
E25 Dedicated Mechanical Room	0	1	250	250	1.20	300		
E26 Secured Elevator	0	1	100	100	1.20	120		
SUBTOTAL:	34	47	5,345	5,881	1.33	7,803		



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F. Fire Rescue Station

F1	Operations Support							
F1.01	Entrance Lobby	0	1	180	180	1.35	243	Seating for 2, area for EMS duties and blood pressure checks, secured access to station.
F1.02	Public Toilet	0	1	50	50	1.35	68	6 x 8 Unisex Toilet room accessible from Lobby
F1.03	Reception / Office	3	1	300	300	1.35	405	Secured office space for 3 desks, file cabinets, printer, radio charging area. Direct visibility of both the entrance lobby and the apparatus bay.
F1.04	Office Storage Closet	0	1	20	20	1.35	27	Secured storage closet for documents and equipment, accessed from Office.
F1.05	Day Room	0	1	500	500	1.35	675	Living room area, 8 lounge chairs, open to Dinning room and readily accessible to apparatus bay. Alcove for TV/entertainment components.
F1.06	Dining Room	0	1	250	250	1.35	338	Extension of Kitchen and Day room areas, with a large table with seating for 10. Visibility into apparatus room.
F1.07	Kitchen	0	1	200	200	1.35	270	Commercial kitchen open to dining room with hood, 2-compartment deep sink with disposal, dishwasher, ice maker, 3 residential type refrigerators, lower and upper cabinets, and a separate pantry/storage room.
F1.08	Study Room	0	1	180	180	1.35	243	Adjacent to day room with 3 work stations for crew
F1.09	Toilet Room	0	1	50	50	1.35	68	6 x 8 Unisex Toilet room accessible from Day Room
F1.10	Exercise Room	0	1	200	200	1.35	270	Weight and aerobic equipment, rubber athletic flooring with durable walls, and one mirrored wall. Windows for natural light preferred. To be shared with Police department, if located outside both departments.
F1.11	OIC Dormitory	3	3	120	360	1.35	486	Put bedroom, min. window glazing at 8% for floor area for natural light and ventilation, 4 lockers/cabinets for each shift per dorm room,
F1.12	Dormitory	8	8	80	640	1.35	864	Put bedroom, min. window glazing at 8% for floor area for natural light and ventilation, 4 lockers/cabinets for each shift per dorm room,
F1.13	Dormitory Bathrooms	0	4	72	288	1.35	389	6 x 8 Unisex Toilet room with 36inch walk-in shower.
F1.14	Storage closet	0	2	30	60	1.35	81	
F1.15	Covered patio	0	1	350	350	1.35	473	Exterior area, seating, BBQ with overhead exhaust.
F1.16	Pole Shaft Vestibule	0	2	25	50	1.35	68	Area for one pole and landing per floor, 5x5, soft landing pad



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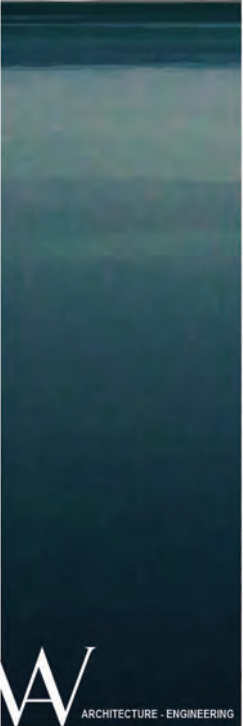
BUILDING PROGRAM

Department / Area Designation		No. of Personnel	No. of Spaces	Net Area	Total Net Area	Dept. Circ. Factor	Adjusted Area	Sketch	Description
F2	Operations								
F2.01	Apparatus Bay	0	1	3,400	3,400	1.10	3,740		2 bays totaling 40'x 85' clear, with 14ft wide four-fold doors, floors sloped to trench drains, mechanically ventilated for carbon monoxide fumes and high bay lighting.
F2.02	Bunker Gear Room	0	1	400	400	1.10	440		Directly accessible from apparatus bay, Geargrid bunker gear lockers, mechanically ventilated with positive pressure.
F2.03	Recycling Area	0	1	130	130	1.10	143		Accessible and open to bunker gear room
F2.04	E.M.S. Storage Room	0	1	200	200	1.10	220		Secured room directly adjacent and accessible from the apparatus bay
F2.05	Work Room	0	1	150	150	1.10	165		Directly accessible from apparatus bay, work bench, storage, double compartment sink, janitor's sink, and washer and dryer.
F3	Station Support								
F3.01	Electric Room	0	1	100	100	1.35	135		
F3.02	Telecom / Data Room	0	1	100	100	1.35	135		
F3.03	Elevator (shaft)	0	2	100	200	1.35	270		
F3.04	Janitor's Room	0	1	50	50	1.35	68		
F3.05	Water Heater	0	1	50	50	1.35	68		
F3.06	Mechanical Room	0	2	100	200	1.35	270		
F3.07	Emergency Generator	0	1	200	200	1.35	270		
SUBTOTAL:		14	44	7,587	8,858	1.23	10,888		



NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



WOLFBURG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

BUILDING PROGRAM

Department / Area Designation	No. of Personnel	No. of Spaces	Net Area	Total Net Area	Dept. Circ. Factor	Adjusted Area	Sketch	Description
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G. Front Counter & Building Department

G1	Reception	0	1	350	350	1.15	403	9	Lobby, Seating for 10, alcove for public workspace table & forms. Area to accommodate monthly dept. of motor vehicles mobile station, 14ft long wall space x 6 ft deep.
G2	Counter	0	1	200	200	1.15	230	9	32ft long, 28" deep counter plus queuing area, fronting 4 individual L-shaped workstations.
G3	Post Office	1	1	165	165	1.15	190	9	6 x 10 workstation, storage cabinets, separate entrance & environment
G4	Customer Service/ Account Receivable	1	1	90	90	1.15	104	9	6 x 8 workstation, cash-lock drawer for utility payments, passports & notary, storage cabinets.
G5	Building Department								
G5.01	Front Counter Operations	2	2	90	180	1.15	207	9	6 x 8 workstation, storage cabinets, rear counter to stamp drawings, copy machine alcove.
G5.02	Reviewer Workroom	7	1	700	700	1.35	945	3c	Perimeter 36" deep workspace counter for 4 part-time reviewers, 2 incline work surfaces, one 6x8 cubicle for building official, center work-table, 2 storage shelving units for codes, 10 -36inch wide storage shelving units for permit files, 1 storage shelving unit for plans processing, access to counter area & copy machine
G5.03	Coffee Alcove	0	1	10	10	1.35	14		
SUBTOTAL:		11	8	1,605	1,695	1.23	2,091		

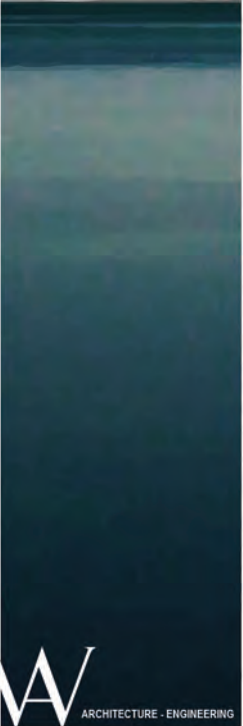
H. Village Hall Common Areas

H1	Main Lobby	1	1	400	400	1.35	540		Entrance Lobby, reception /security desk
H2	Elevator Lobbies	0	6	250	1,500	1.35	2,025		Upper level lobbies
H3	Men's Restroom	0	3	250	750	1.35	1,013		
H4	Women's Restroom	0	3	250	750	1.35	1,013		
H5	Janitor's Room	0	3	50	150	1.35	203		
SUBTOTAL:		1	16	1,200	3,550	1.35	4,793		



NORTH BAY VILLAGE

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BUILDING PROGRAM

Department / Area Designation	No. of Personnel	No. of Spaces	Net Area	Total Net Area	Dept. Circ. Factor	Adjusted Area	Sketch	Description
-------------------------------	------------------	---------------	----------	----------------	--------------------	---------------	--------	-------------

I. Building Support

I1	Stairs	0	10	320	3,200	1.25	4,000	Assumes 2 stairs x 4 floors, and 1 stair x 2 floors
I2	Elevator	0	8	100	800	1.25	1,000	Assumes 2 elevators x 4 floors
I3	Elevator Machine Room	0	1	100	100	1.25	125	
I4	Mechanical Room	0	4	250	1,000	1.25	1,250	
I5	Main Electric Room	0	1	150	150	1.25	188	
I6	Electrical Room	0	4	110	440	1.25	550	
I7	IT Room	0	1	150	150	1.25	188	
I8	Fire Command Room	0	1	200	200	1.25	250	
I9	Fire Pump Room	0	1	120	120	1.25	150	
I10	Emergency Generator	0	1	250	250	1.25	313	
SUBTOTAL:		0	32	1,750	6,410	1.25	8,013	

J. Parking Garage

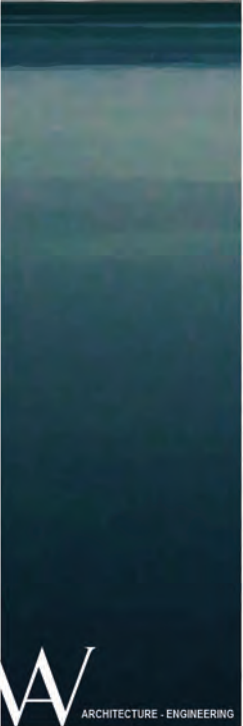
J1	Typical Floor Plate		3	22,575	67,725	1.00	67,725	Assumes 3 levels of parking, with 9' x 18' spaces.
J2	Ground Floor (Speed Ramp)		1	1,619	1,619	1.00	1,619	Speed ramp rising 20ft +/-, and multiple driveways
SUBTOTAL:		0	4	24,194	69,344	1.00	69,344	

Note: Refer to Parking Requirements Analysis for the actual parking needs as determined by Village Administration based on the proposed uses, their associated staffing levels, hours of operation, shift changes and anticipated number of visitors.



NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



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SECTION

3



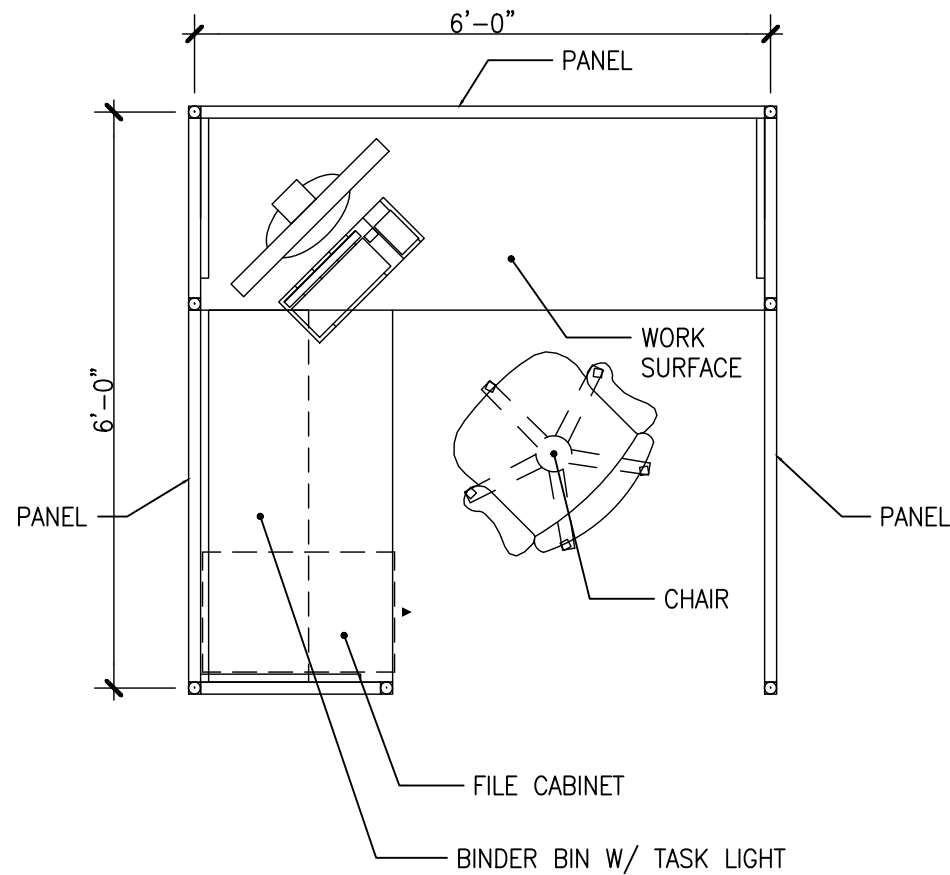
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PROGRAMMATIC DIAGRAMS



ROOM:

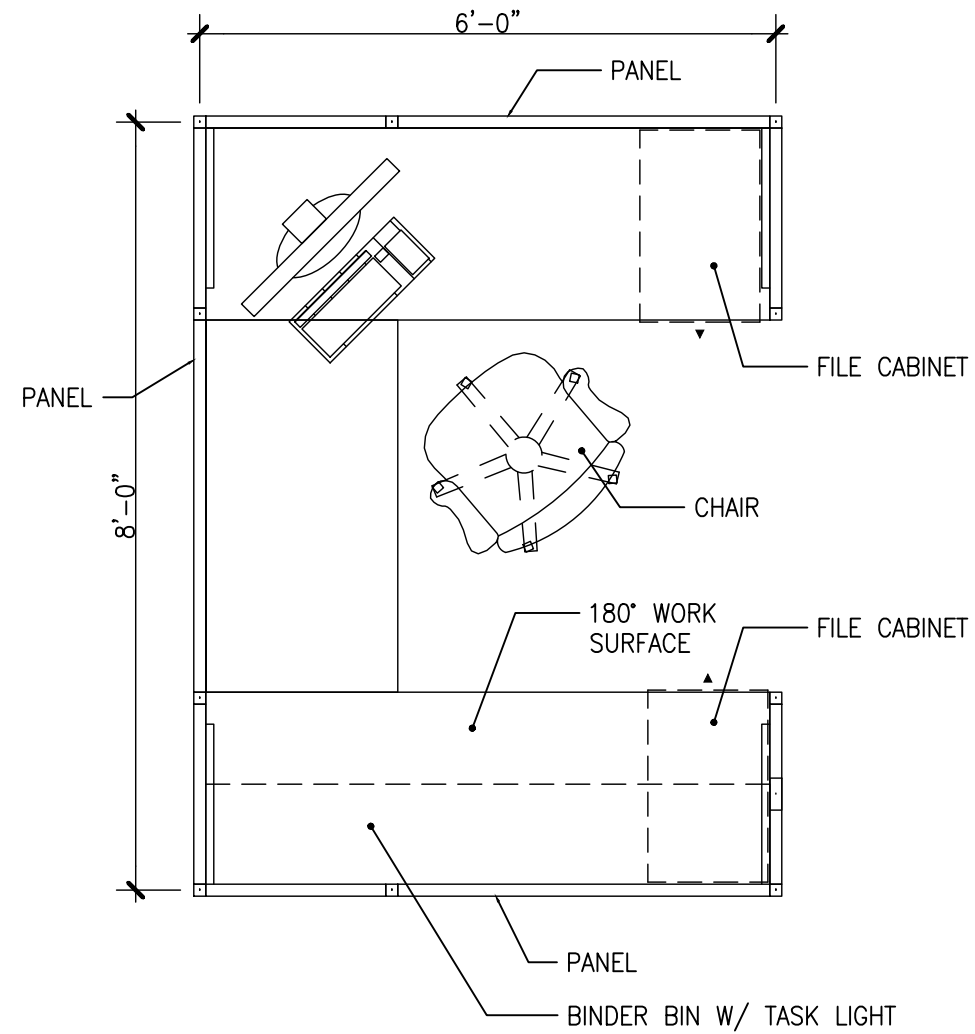
6' X 6' CUBICLE

AREA:
36 SF.

SCALE:
1/2" = 1'-0"

SHEET

1A



ROOM:

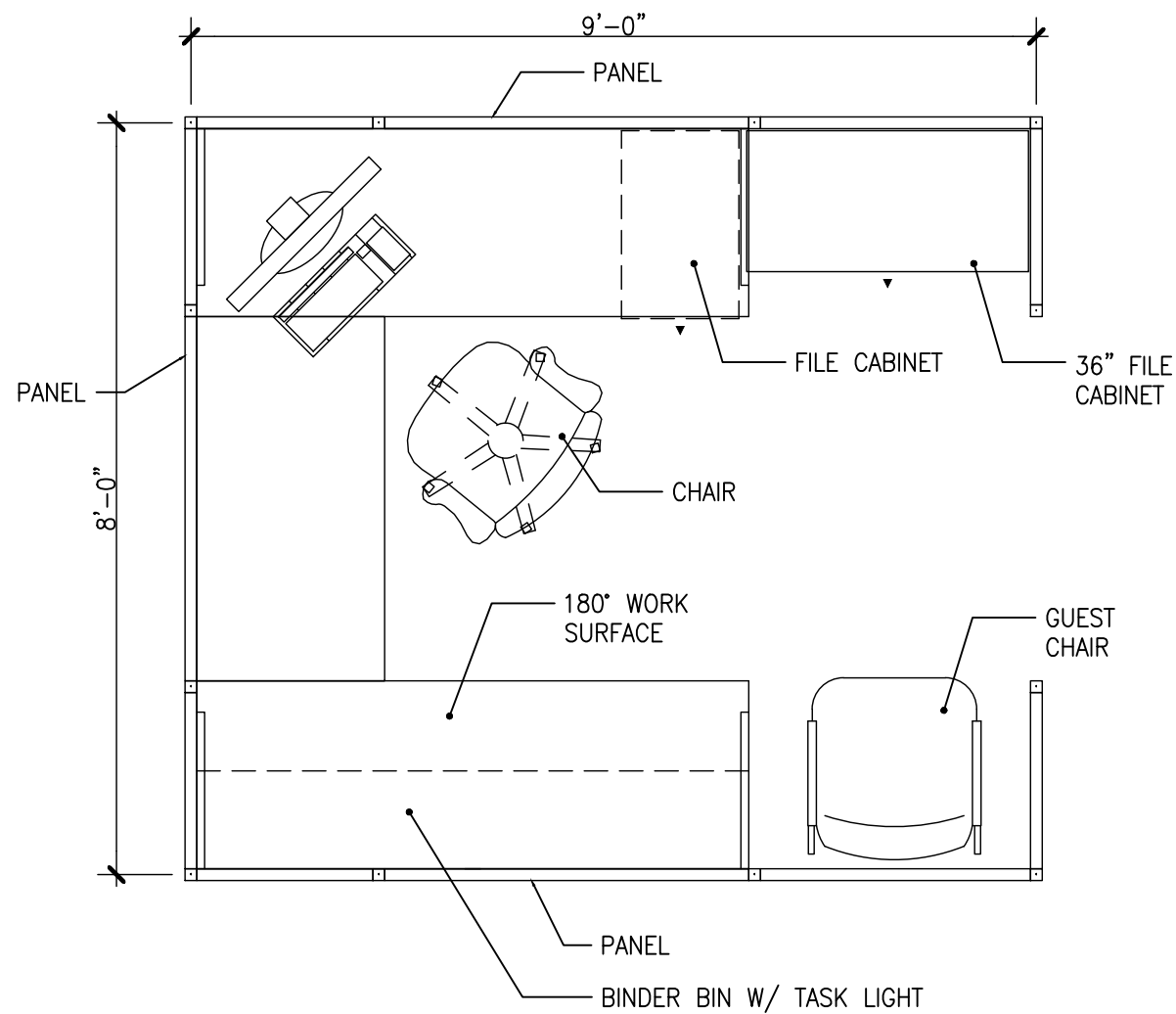
6' X 8' CUBICLE

AREA:
48 SF.

SCALE:
1/2" = 1'-0"

SHEET

1B



ROOM:

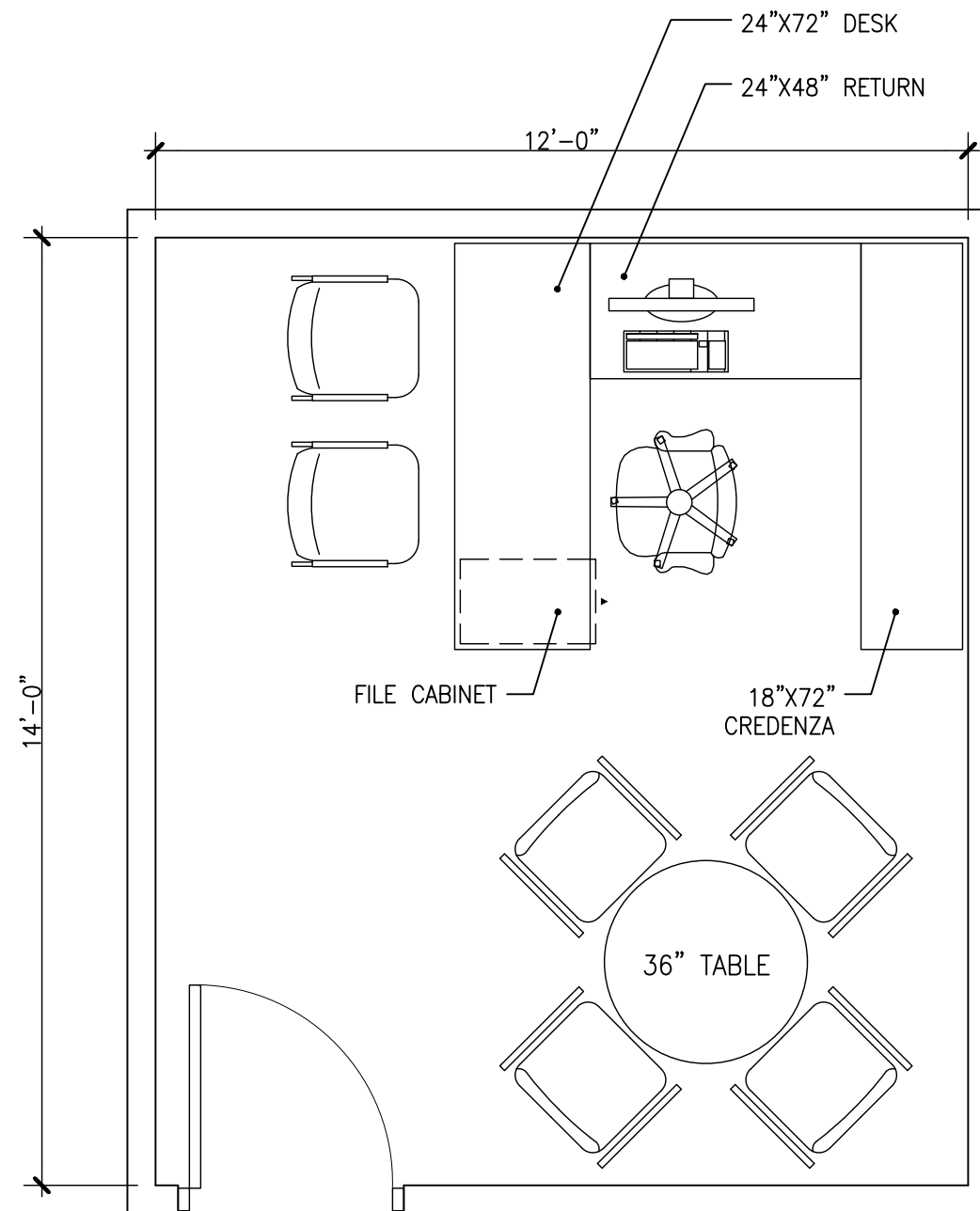
8' X 9' CUBICLE

AREA:
72 SF.

SCALE:
1/2" = 1'-0"

SHEET

1C



ROOM:

PRIVATE OFFICE

AREA:
168 SF.

SCALE:
3/8" = 1'-0"

SHEET

2A



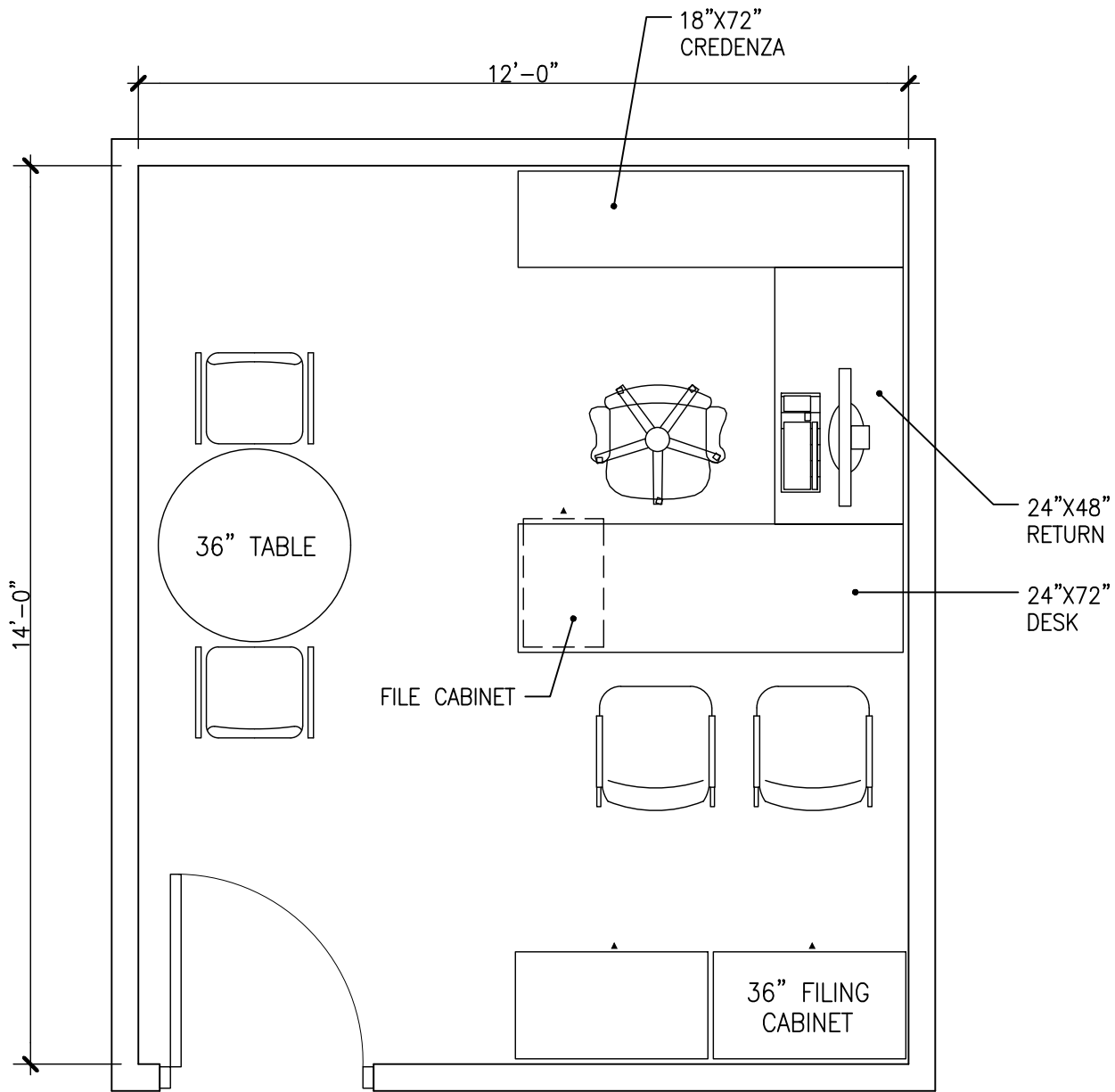
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**PROGRAMMATIC
DIAGRAMS**



ROOM:

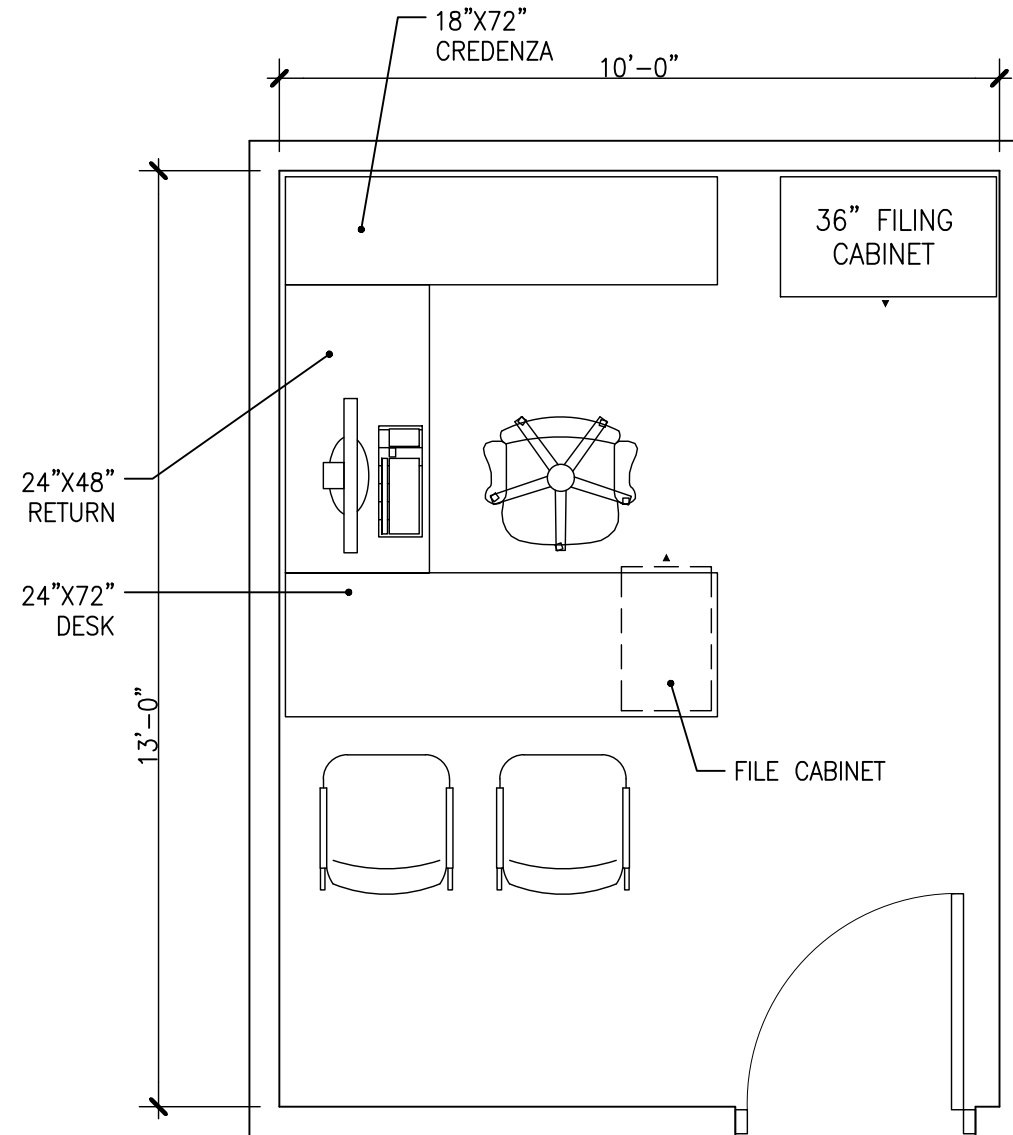
PRIVATE OFFICE

AREA:
168 SF.

SCALE:
3/8" = 1'-0"

SHEET

2B



ROOM:

PRIVATE OFFICE

AREA:
130 SF.

SCALE:
3/8" = 1'-0"

SHEET

2C



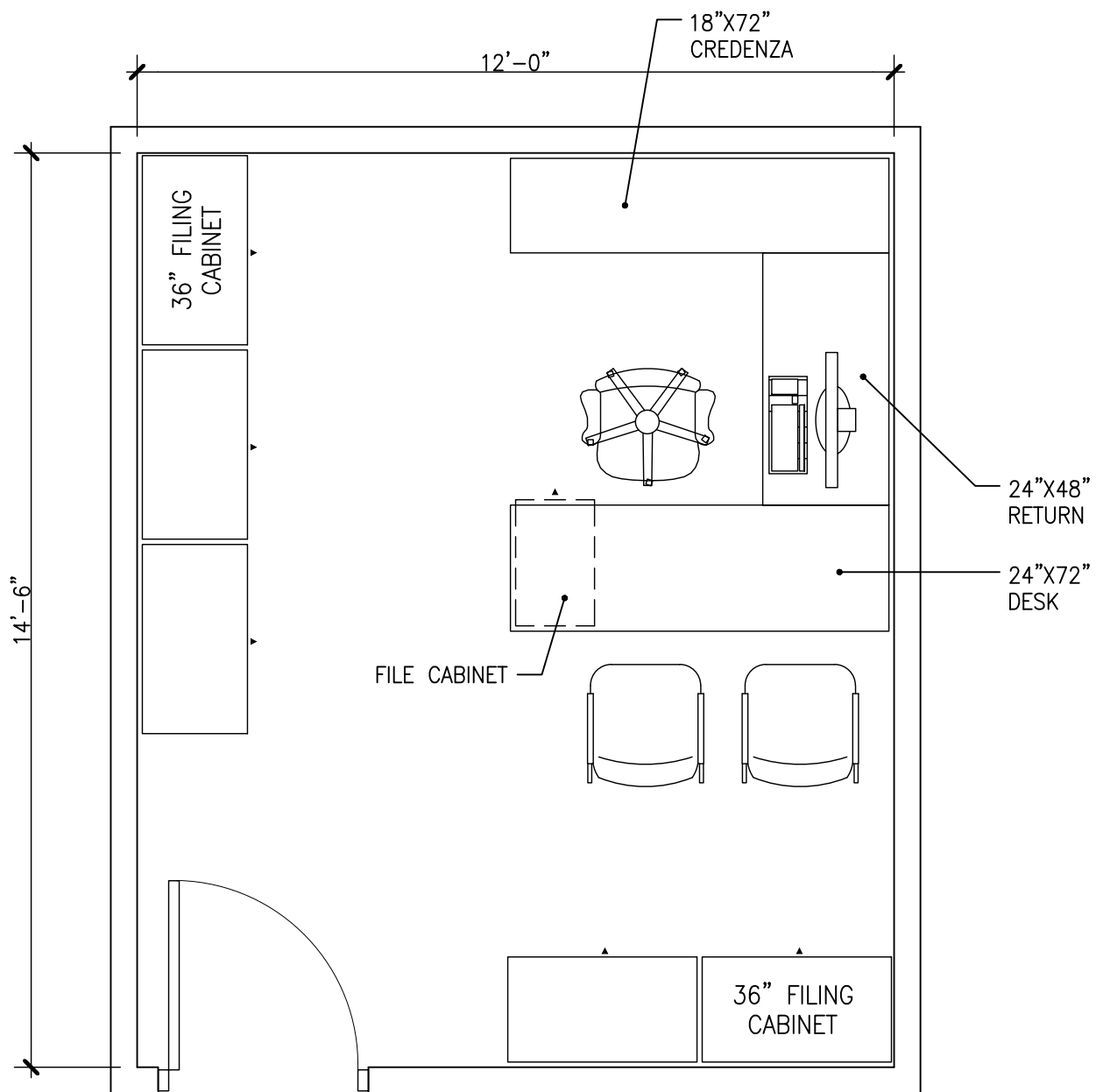
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ROOM:

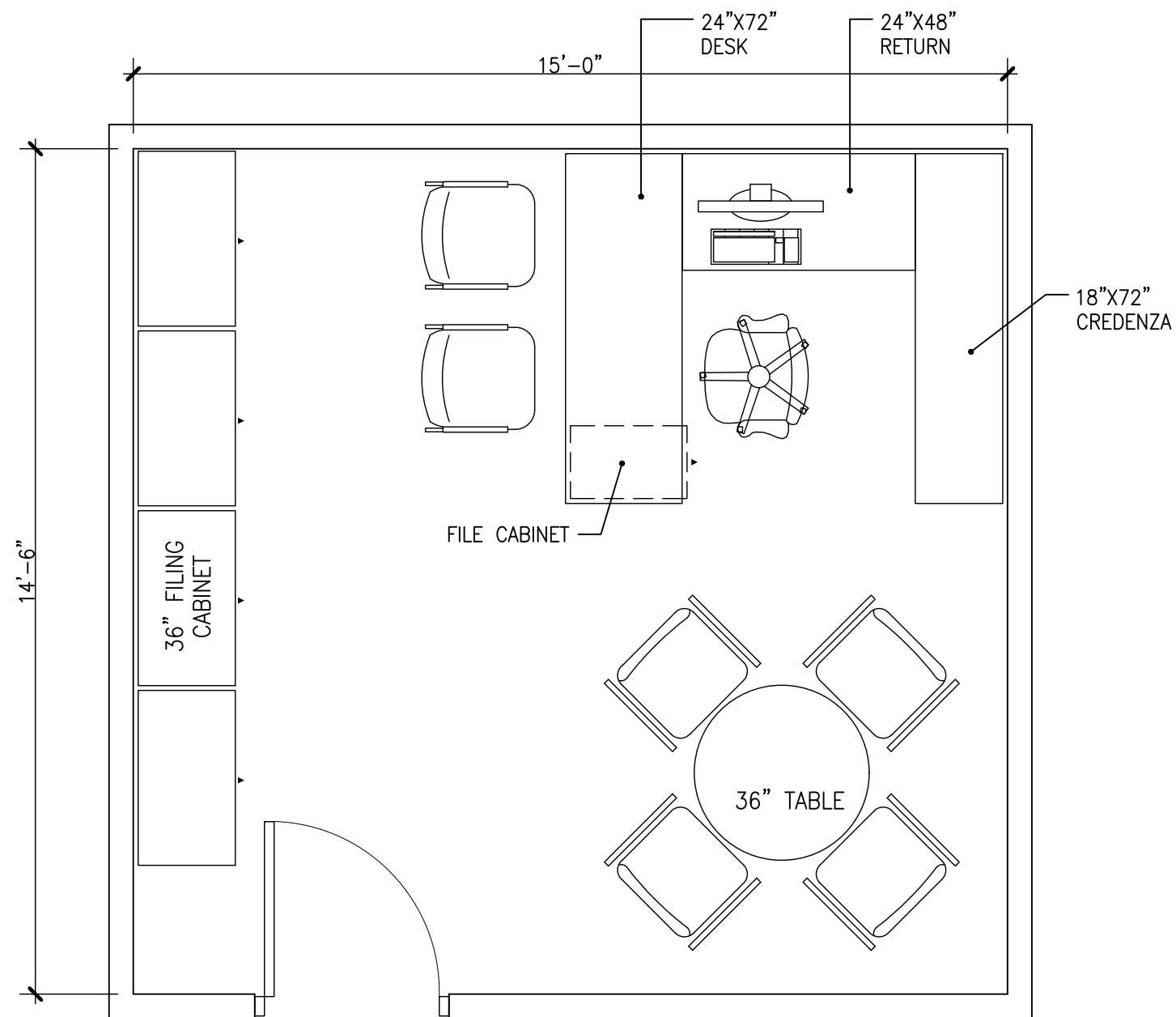
PRIVATE OFFICE

AREA:
174 SF.

SCALE:
3/8" = 1'-0"

SHEET

2D



ROOM:

PRIVATE OFFICE

AREA:
217 SF.

SCALE:
3/8" = 1'-0"

SHEET

2E



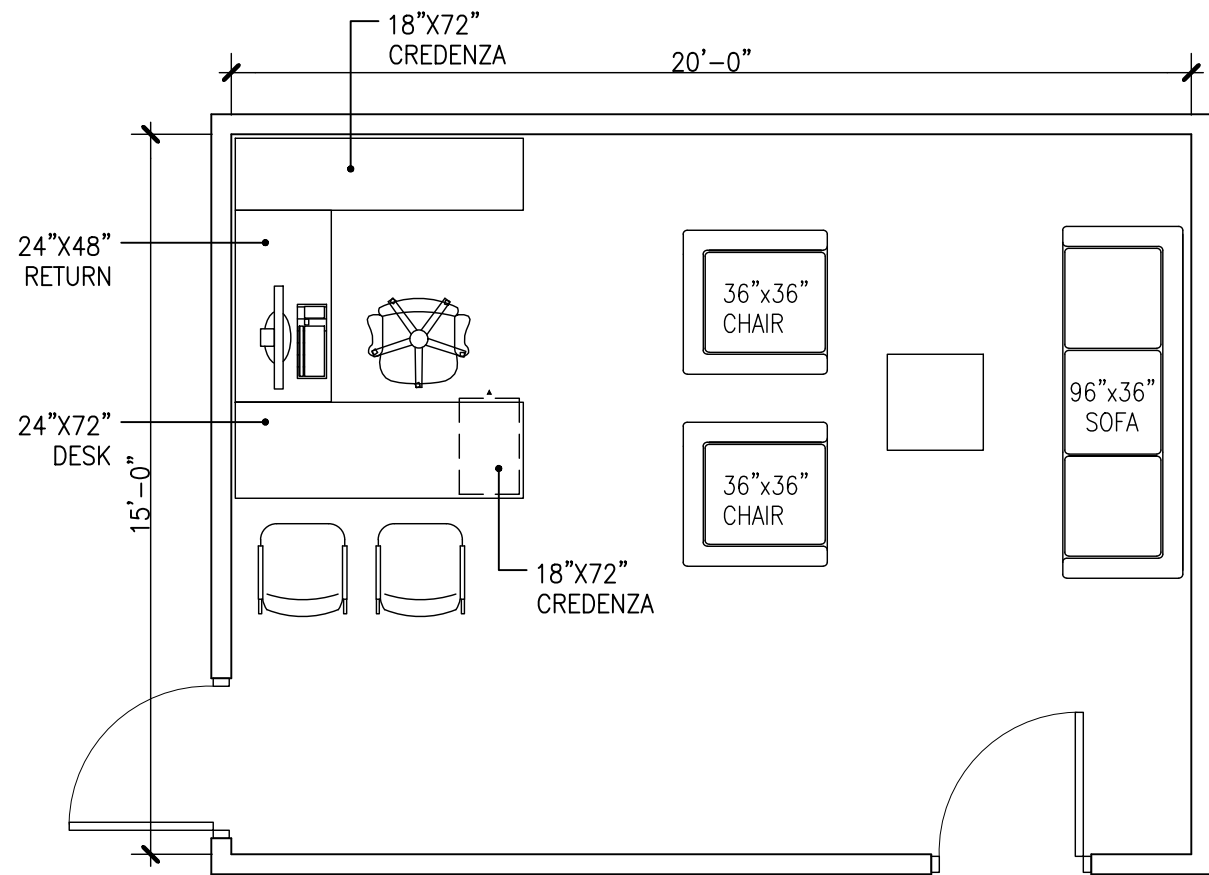
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ROOM:

PRIVATE OFFICE

AREA:

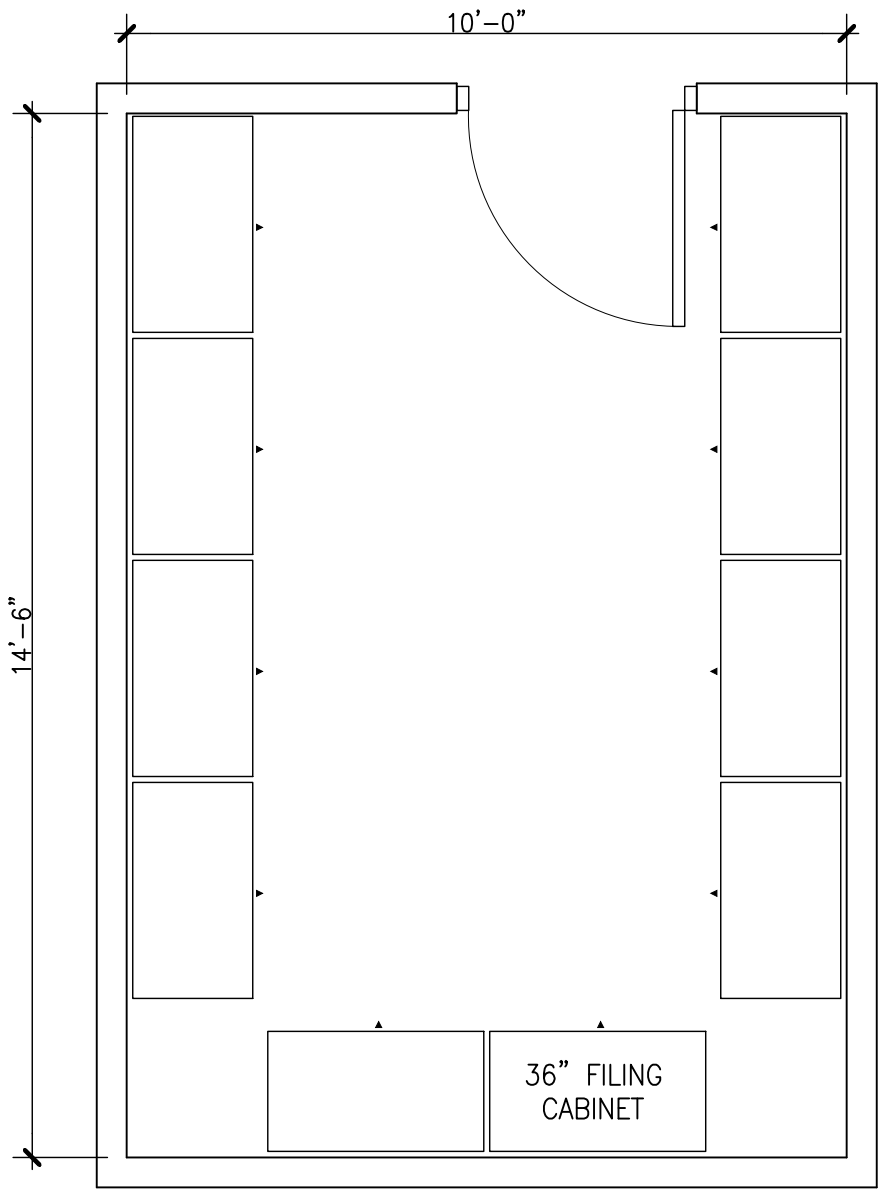
300 SF.

SCALE:

1/4" = 1'-0"

SHEET

2F



ROOM:

FILE STORAGE ROOM

AREA:

145 SF.

SCALE:

3/8" = 1'-0"

SHEET

3A



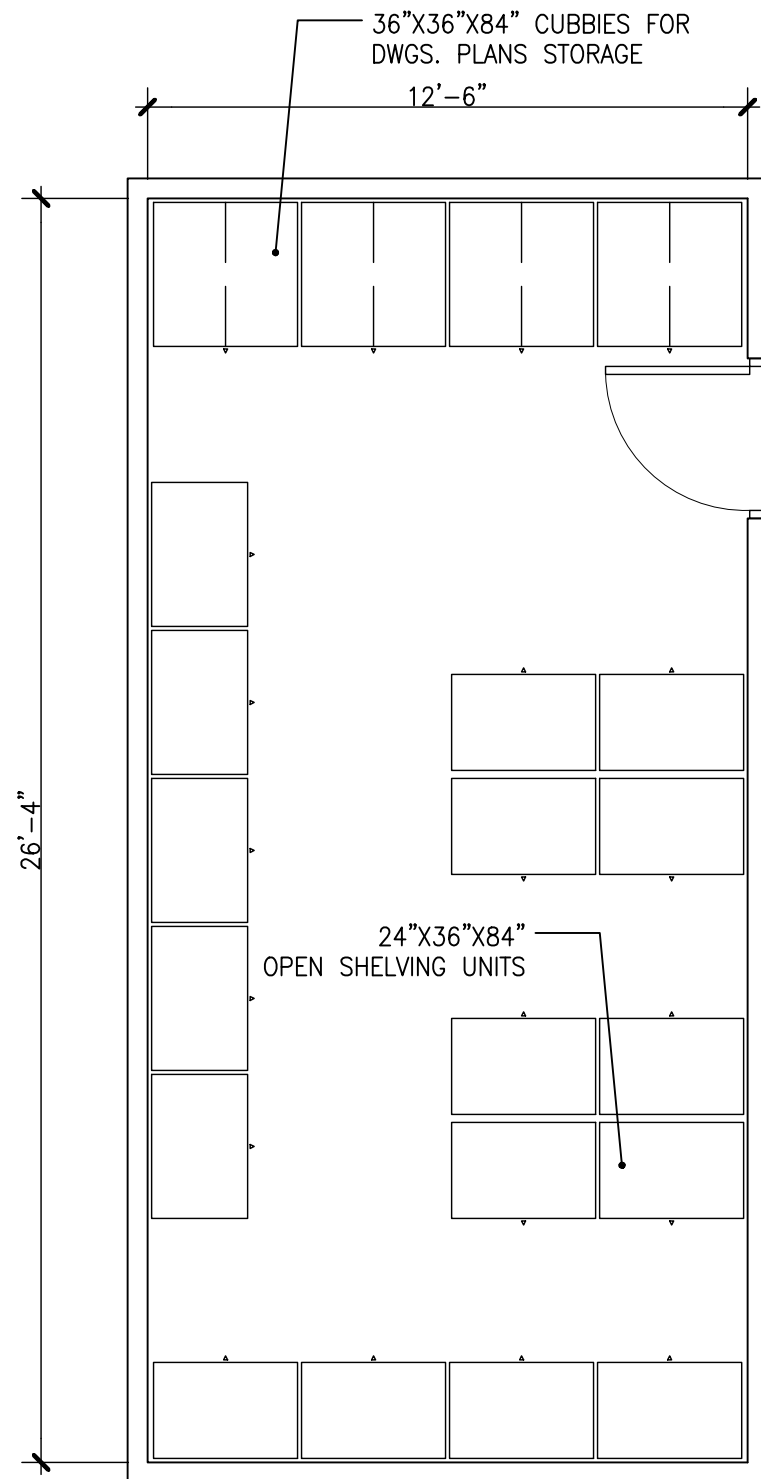
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**PROGRAMMATIC
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ROOM:

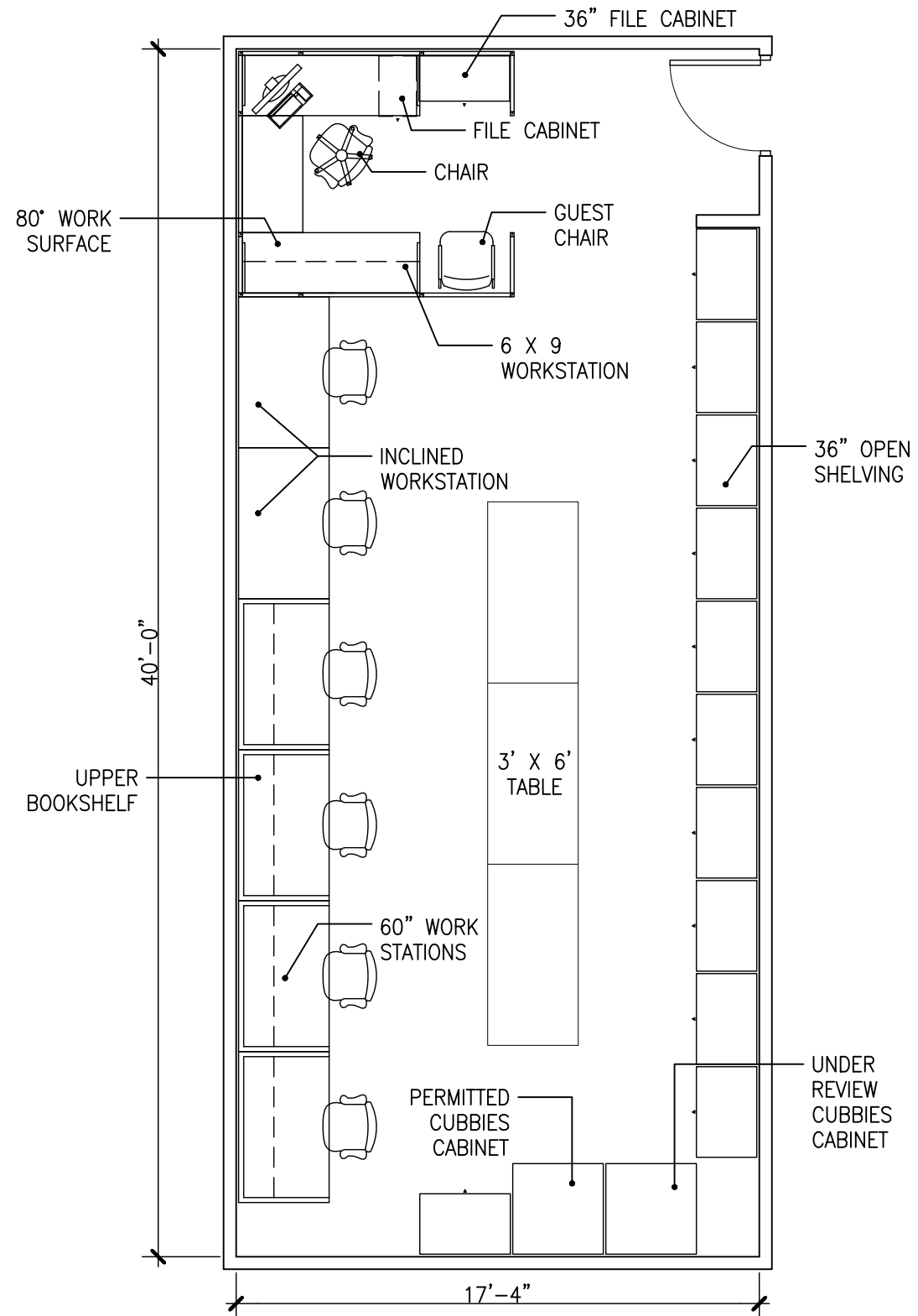
RECORDS ROOM

AREA:
330 SF.

SCALE:
1/4" = 1'-0"

SHEET

3B



ROOM:

REVIEWER WORKROOM

AREA:
700 SF.

SCALE:
3/16" = 1'-0"

SHEET

3C



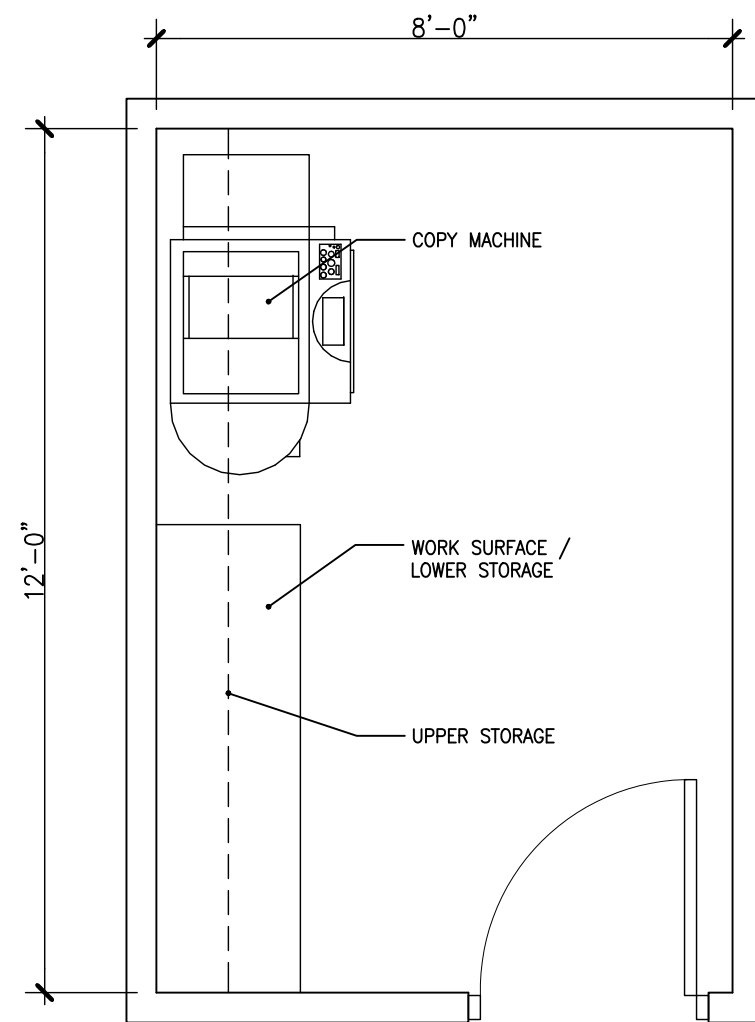
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ROOM:

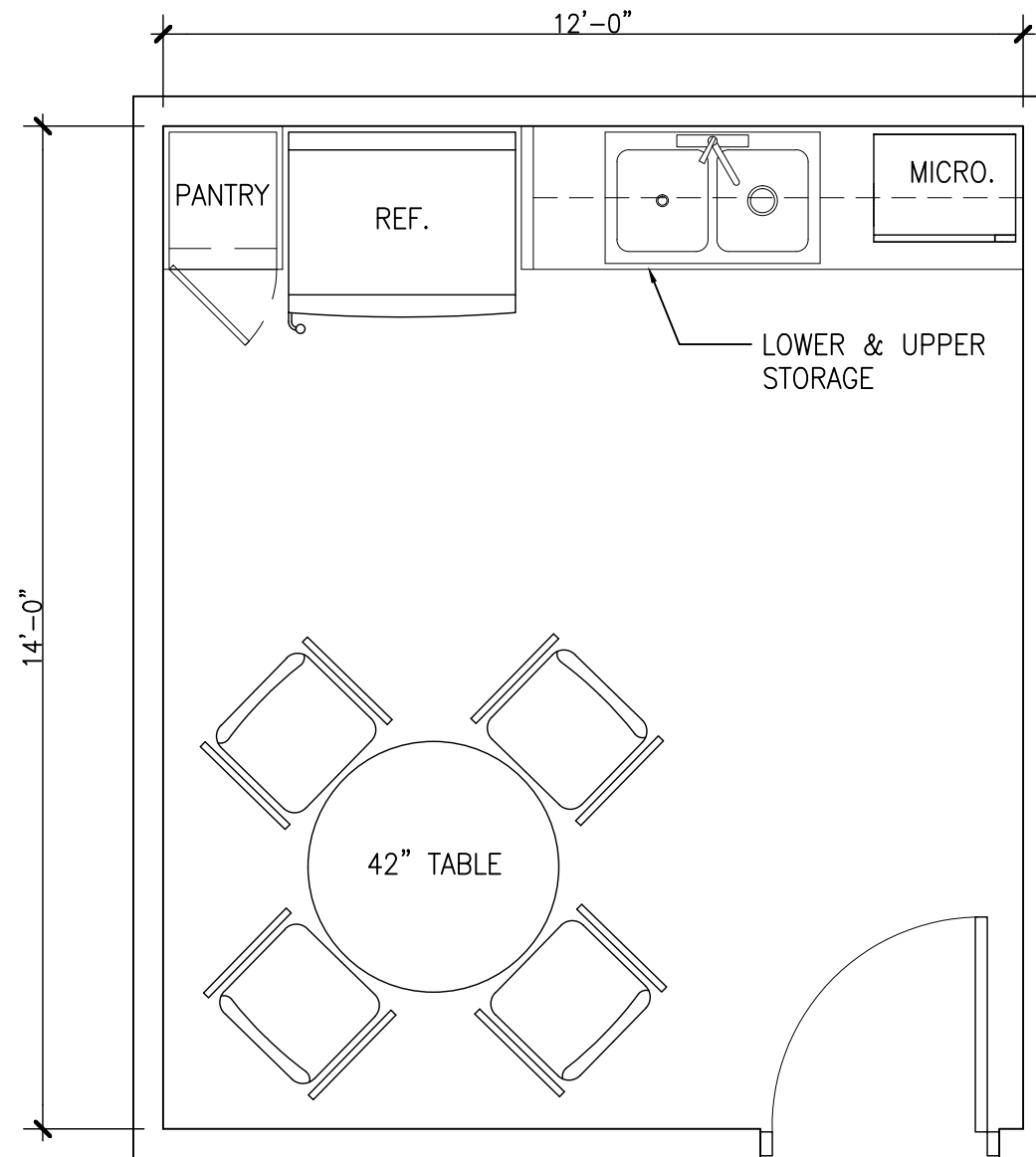
COPY ROOM

AREA:
96 SF.

SCALE:
3/8" = 1'-0"

SHEET

4



ROOM:

BREAKROOM

AREA:
168 SF.

SCALE:
3/8" = 1'-0"

SHEET

5



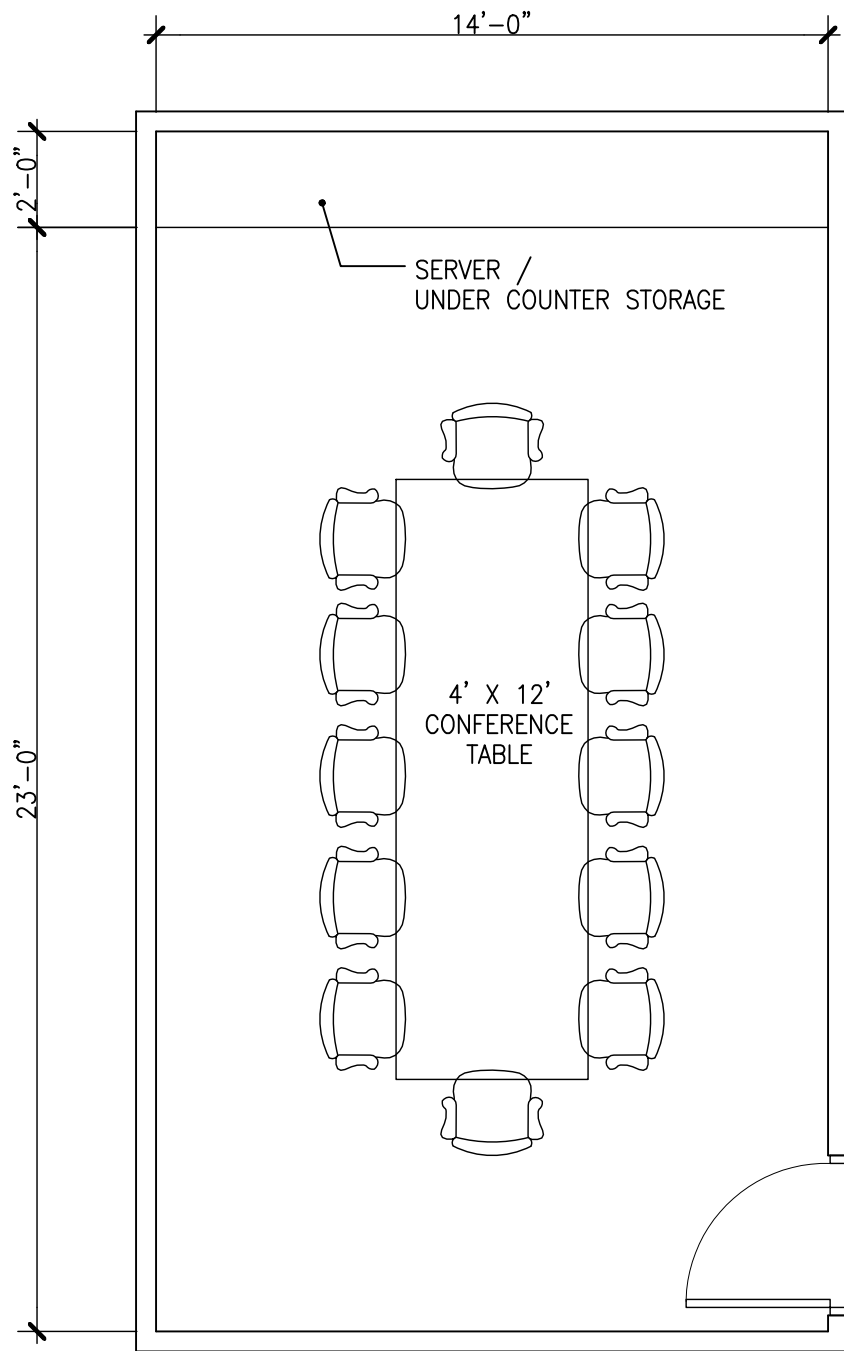
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**PROGRAMMATIC
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ROOM:

CONFERENCE ROOM

AREA:

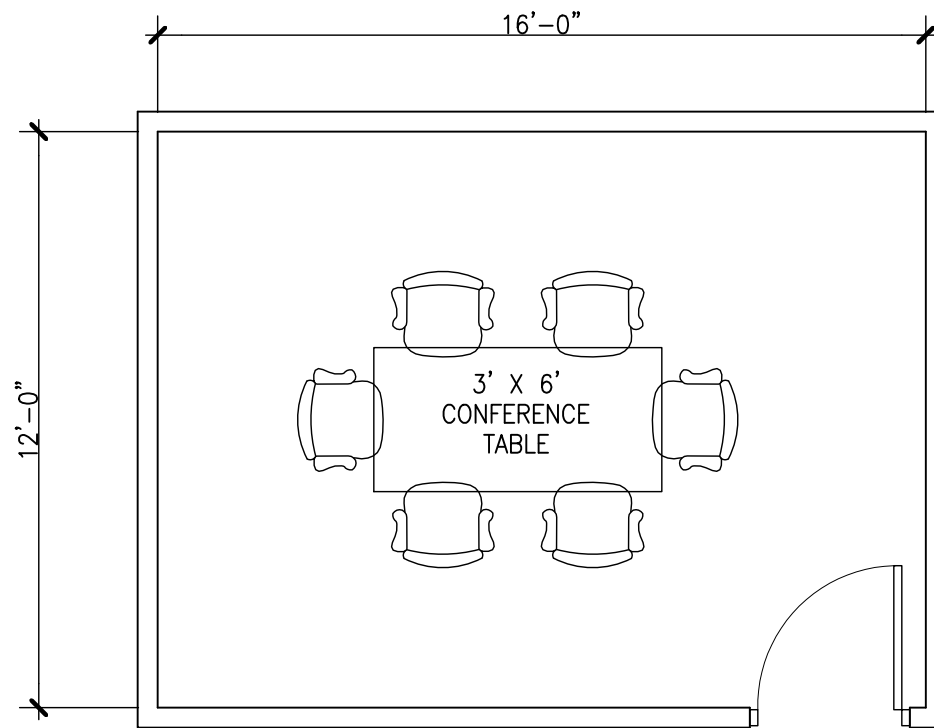
350 SF.

SCALE:

1/4" = 1'-0"

SHEET

6A



ROOM:

CONFERENCE ROOM

AREA:

192 SF.

SCALE:

1/4" = 1'-0"

SHEET

6B



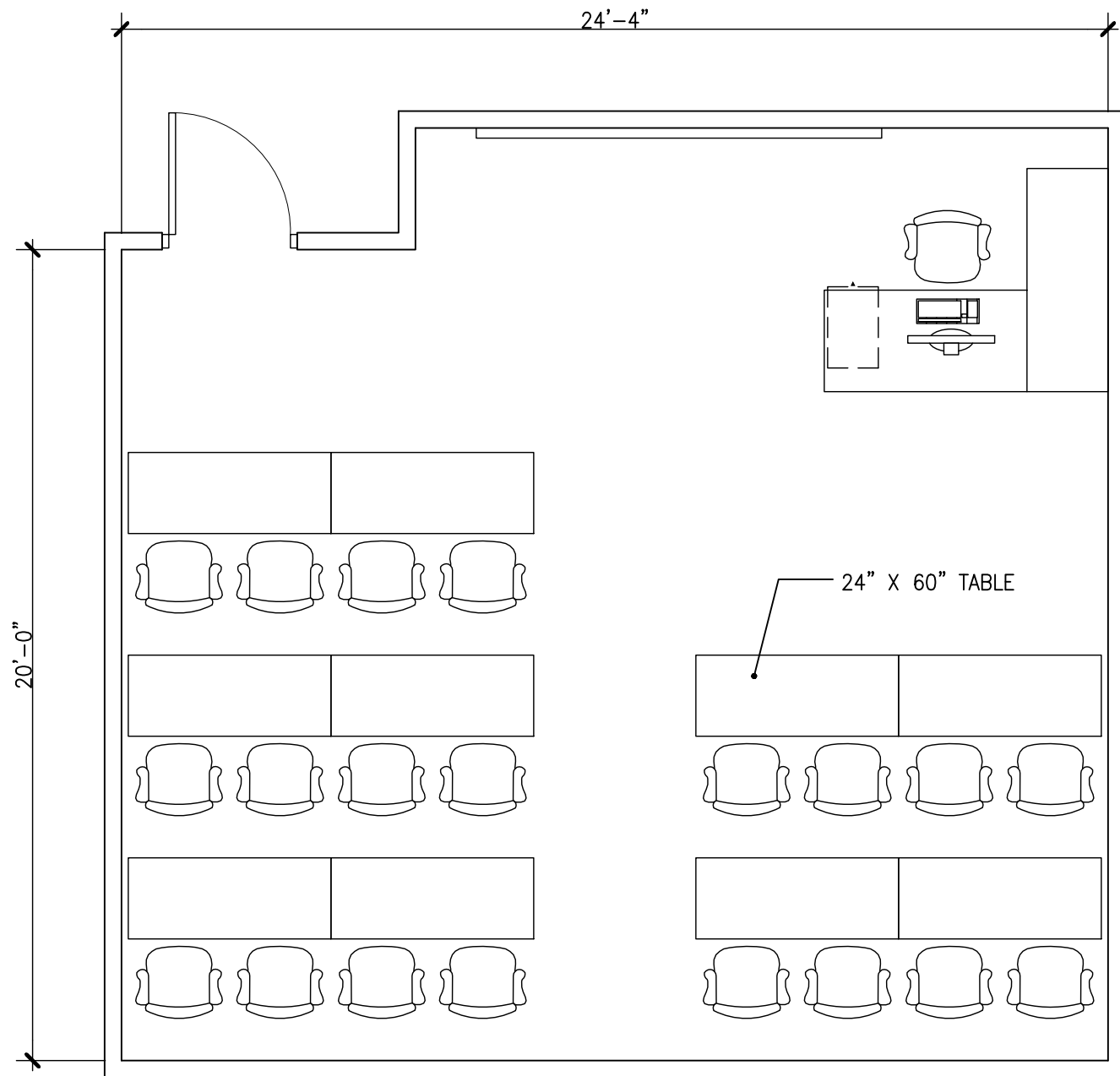
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ROOM:

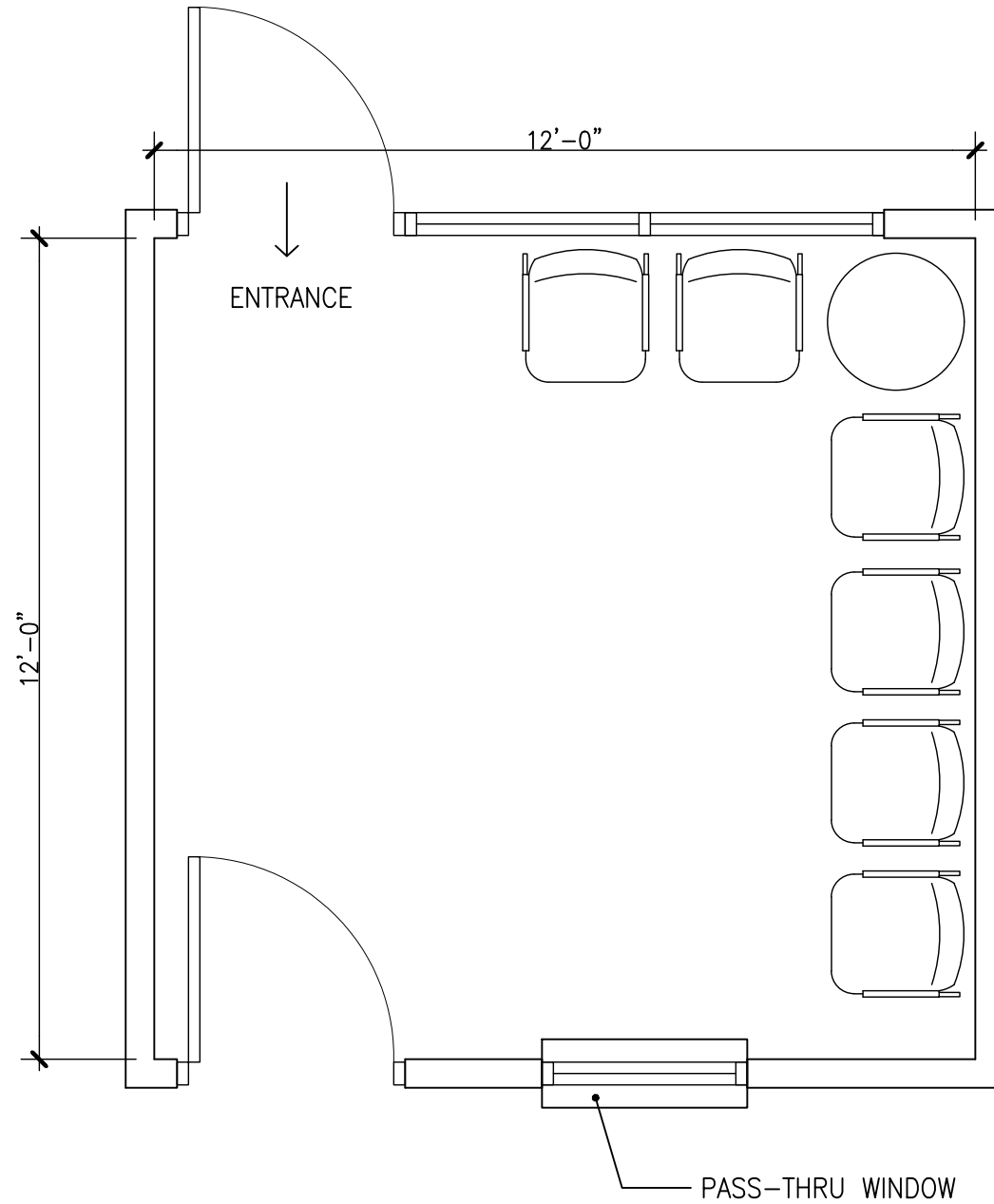
CLASSROOM

AREA:
540 SF.

SCALE:
1/4" = 1'-0"

SHEET

7



ROOM:

POLICE RECEPTION

AREA:
144 SF.

SCALE:
3/8" = 1'-0"

SHEET

8



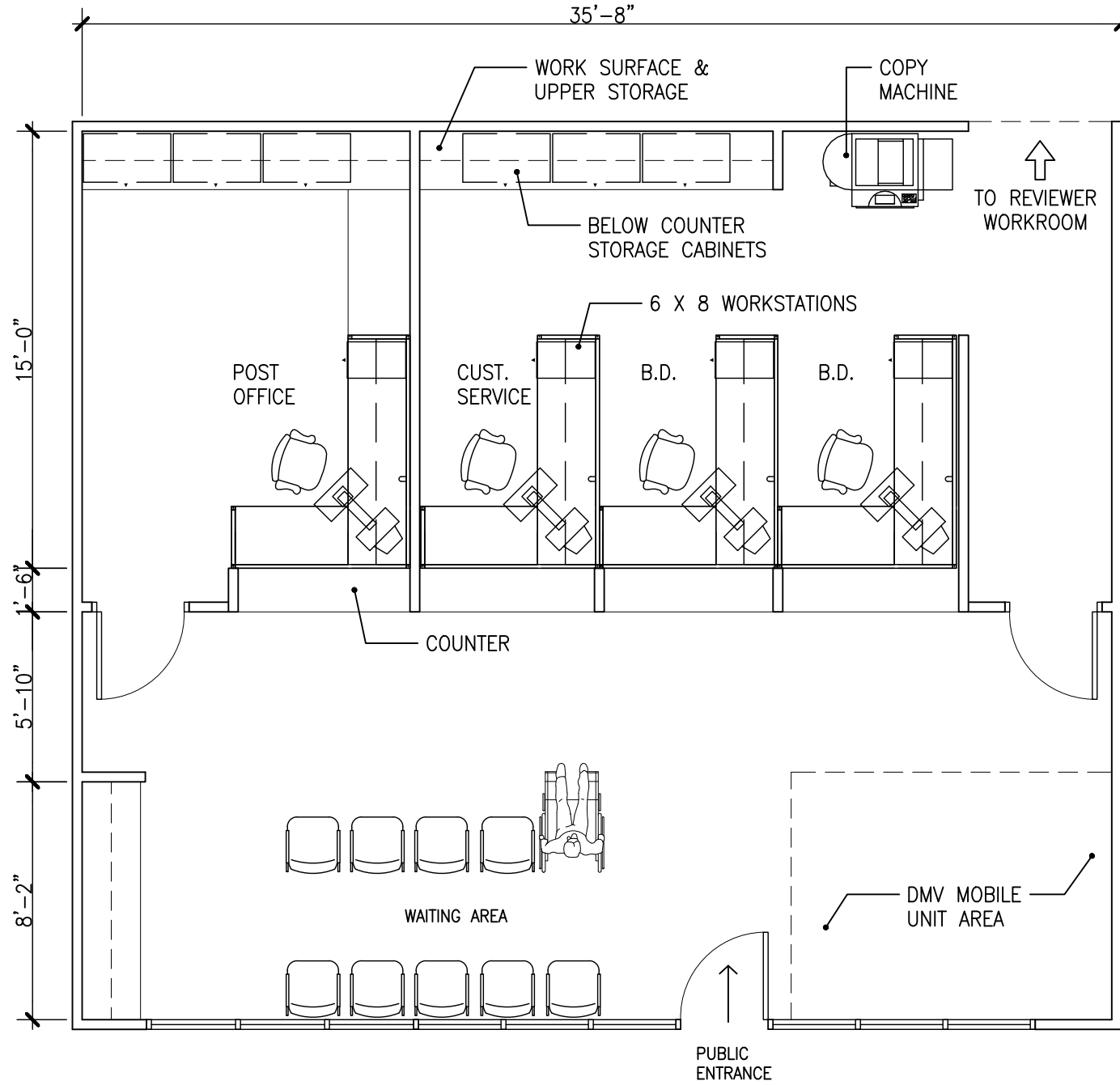
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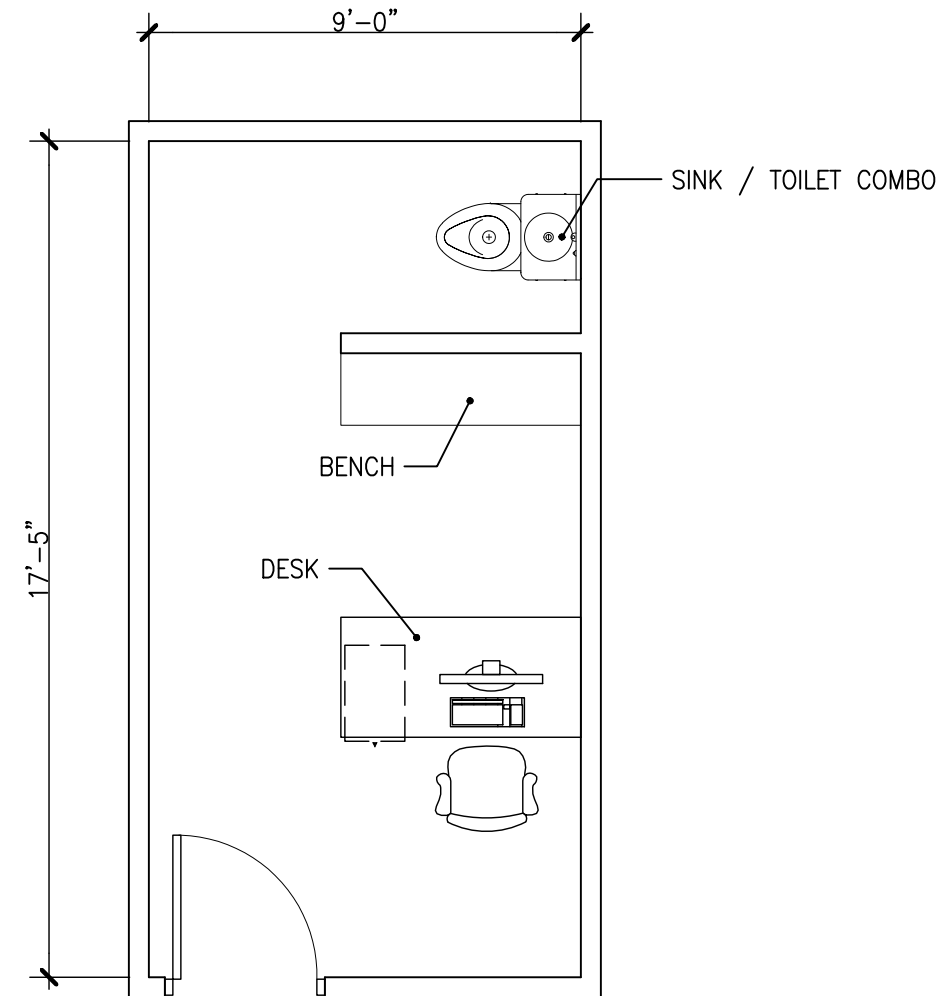


ROOM: **FRONT COUNTER**

AREA: **1,077 SF.**

SCALE: **3/16" = 1'-0"**

SHEET **9**



ROOM: **PROCESSING / HOLDING CELL**

AREA: **156 SF.**

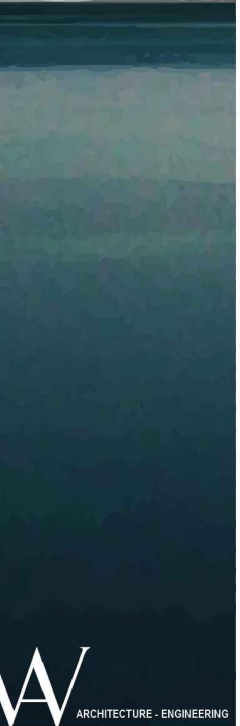
SCALE: **1/4" = 1'-0"**

SHEET **10**



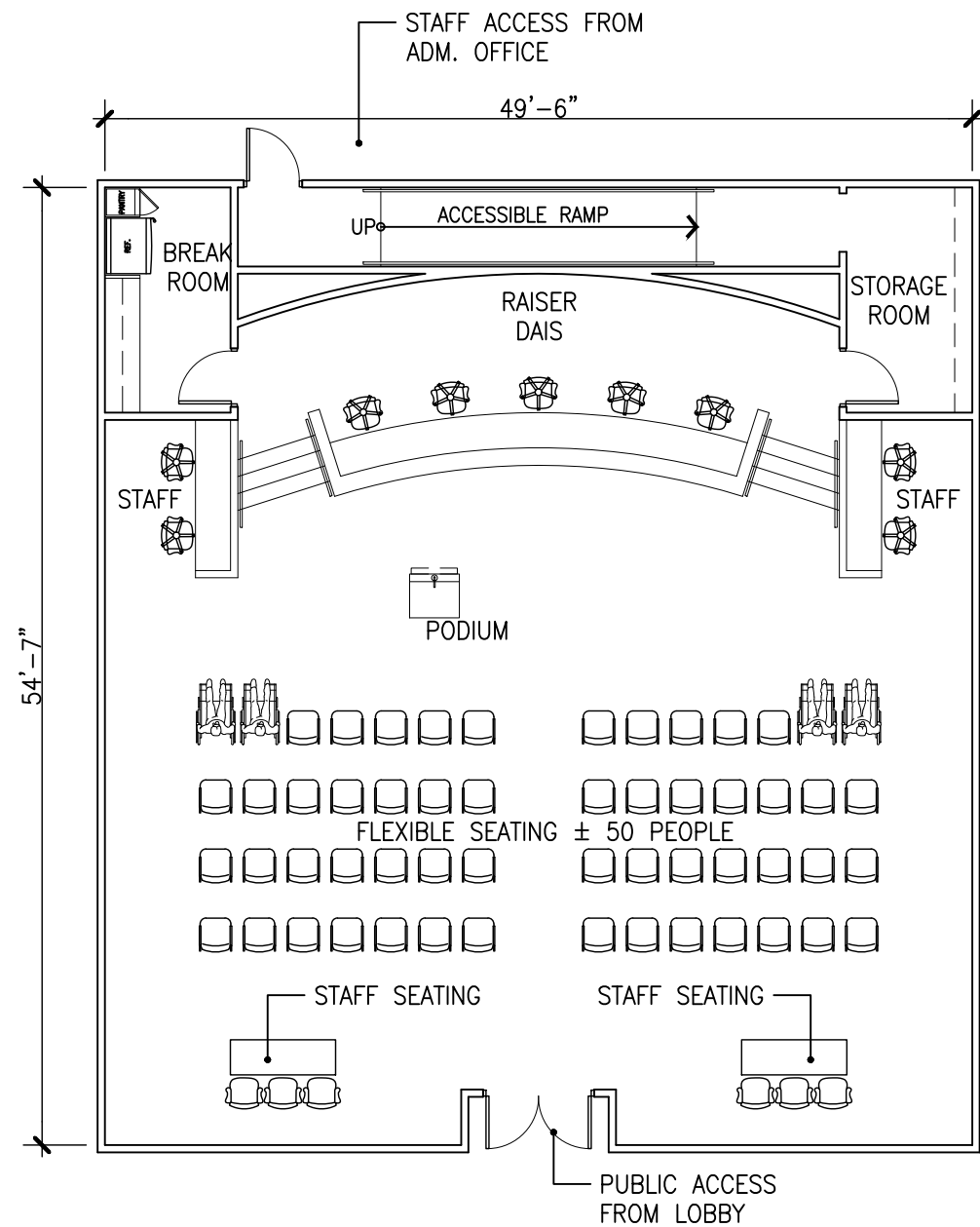
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ROOM:

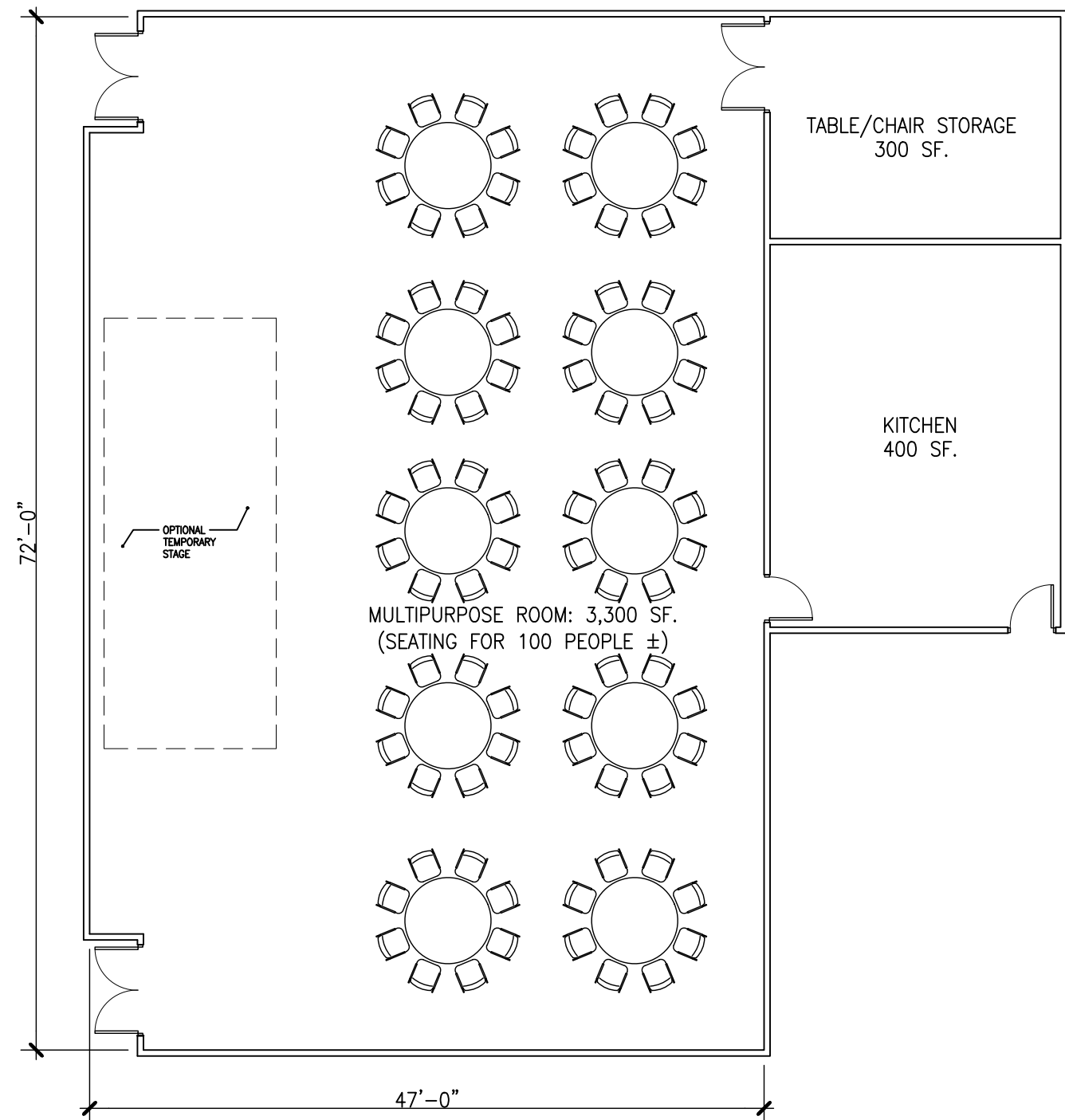
COUNCIL CHAMBERS

AREA:
2,700 SF.

SCALE:
3/32" = 1'-0"

SHEET

11



ROOM:

COMMUNITY ROOM

AREA: 3,300 SF. + 400 SF.
KIT. + 300 SF. STO.

SCALE:
3/32" = 1'-0"

SHEET

12



**NORTH
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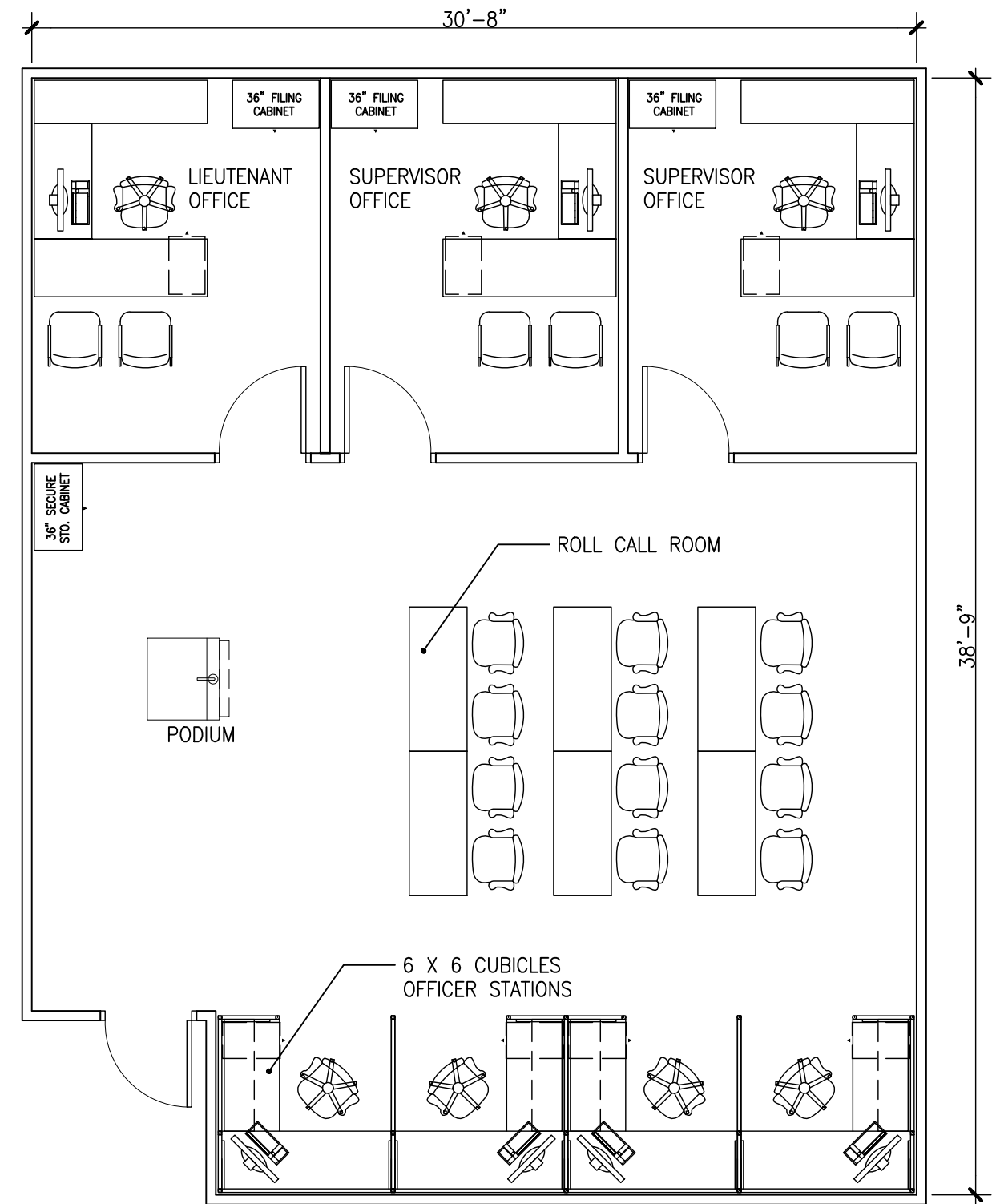
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PROGRAMMATIC DIAGRAMS



ROOM:
PATROL SQUAD ROOM

AREA:
1,146 SF.

SCALE:
3/32" = 1'-0"

SHEET
13



NORTH BAY VILLAGE

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SECTION

4

ZONING ANALYSIS

Min. Req. / Max. Allowed

Proposed

SITE ADDRESS:
7903 East Drive North Bay Village, FL 33141-3310

FOLIO NO.:
Primary Parcel: 23-3209-001-0070
*Lot 3 as shown in survey, dated 04-03-2014
Proposed Annexation: Part of Lot 1 (South East Corner): 23-3209-001-0050
*Proposed parcel as shown in survey, dated 04-03-2014

MUNICIPAL JURISDICTION:
North Bay Village

ZONING DESIGNATION:
General Commercial District, CG, as per City of North Bay Village, Zoning Map Atlas, dated July 2010

LAND USE DESIGNATION:
Public Buildings & Grounds, as per City of North Bay Village 1993 Land Use Plan, dated 1988, Consolidated Land Development Regulations, Chapter 3, Land Use, Section 3.2.6

PROPOSED USES:
Permitted Uses as per Section 152.030, (B)(7)(8)
* Professional Offices
* Post Office

Other Proposed Uses requiring Village Approval
* Fire Rescue Station
* Police Station
* Community Center

NET LOT AREA:
Primary Parcel: 32,183 sf
Proposed Annexation: 2,746 sf
Total Site: 34,929 sf

34,929 sf
0.80 acres

MINIMUM LOT SIZE:
As per Section 152.030, (D)(1), the minimum lot size shall be 10,000 sf.

10,000 sf 34,929 sf

MINIMUM LOT FRONTAGE:
As per Section 152.030, (D)(1), the minimum frontage shall be 75 feet.

75 ft 176.8 ft +/-

MINIMUM YARD SETBACKS:
As per Section 152.030, (D)(2),
* John F. Kennedy Causeway - North Side Setback:
* Other Street Frontages (East Drive) Setback:

* Rear Setback (Small portion of Annex property):

* Side Setback (15 ft, plus five feet for each story over three)
* Total of 8 stories proposed.
* 15ft + (8-3)stories x 5ft = 50ft

East Side Setback:
West Side Setback:

As per Section 5.2.1, Table 5-1.
* Waterfront Setback:

SETBACK ENCROACHMENTS:
As per Section 152.056, (A), Cornices, roof overhangs, window air conditioning units, awnings, chimneys, and sills may extend into a required side or rear yard, provided any such extension does not exceed 36 inches into the required yard. Balconies shall be permitted to project to a distance of 48 inches into the required yard, provided there is a seven-foot clear span.

To facilitate development, the site is proposed to be rezoned via an ordinance creating a new government use zoning district to allow for all of the proposed governmental uses and the district setbacks.

Proposed Uses are not specified as allowable uses under existing CG zoning. New government use zoning district being proposed will allow for all of the proposed governmental uses and the district setbacks.

Requires Zoning Dept. validation that additional parking levels beyond 2 are allowed, as we are proposing 3 levels.

Deficit area due to drives and walkways

Require Zoning Dept. validation that pervious sidewalks and drives having pavers may count as pervious areas.

Denotes Areas for Scheme 1

Requires Zoning Dept. validation that projections may also be allowed at front yard.

Require Zoning Dept. validation that 3ft

Require setback variances on all setbacks

Requires Zoning Dept. to define whether portion is rear or a side setback.

25.0 ft +/-
12.0 ft +/-
24.0 ft +/-
7.0 ft +/-
5.0 ft +/-
25.0 ft +/-
15.0 ft +/-
3.0 ft

ZONING ANALYSIS

Min. Req. / Max. Allowed

Proposed

MAXIMUM BUILDING HEIGHT:
As per Section 152.030, (D)(3), the maximum building height shall be 130 feet or 12 stories, whichever is less, two stories of which may be utilized for a parking structure.

130 ft 130.0 ft

MINIMUM PERVIOUS AREA:
As per Section 152.030, (D)(4)
* Minimum pervious area: 20 % of the total parcel. The lot area at grade level shall be retained as pervious area and shall be landscaped.

6,986 sf
20.0% 5,426 sf
15.5%

* Proposed Site Areas:

* Lot Area:	34,929 sf
* Building Footprint:	24,380 sf
* Drives:	1,185 sf
* Walkways / Sidewalks:	3,938 sf
Total Impervious Area:	29,503 sf
* Green Area (Lot Area - Impervious Area):	5,426 sf

PROPOSED DEVELOPMENT:
7 story Village Hall, consisting of a ground floor Fire Station, 3 levels of enclosed parking and 3 levels of associated government offices including a commission chambers and

Summary of Areas:		Area (SF)
* Government Offices, Facilities, Support, and Public Assembly:		61,853
* Parking Garage		69,344
Subtotal:		131,197
* Covered Areas		12,028
* Terraces		5,698
Total:		148,923

131,197 gsf

FLR/ Level	Building Areas (S.F.) Approx.					Total
	Government Offices, Facilities, & Support	Public Assembly (Comm. Chambers & Community Center)	Parking Garage	Covered Areas	Terraces	
1	15,404		1,619	7,022		24,045
2			22,575			22,575
3			22,575			22,575
4			22,575			22,575
5	11,742	3,629		1,506	5,698	22,575
6	13,789	3,500				17,289
7	13,789			3,500		17,289
	54,724	7,129	69,344	12,028	5,698	148,923



**NORTH
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WOLFBERG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

**ZONING
ANALYSIS**

ZONING ANALYSIS

Min. Req. / Max. Allowed

Proposed

OFF-STREET PARKING:

As per Section 152.044, (C)(3), Community facilities, Government offices and facilities:
One Space for every 300 square feet of gross floor area, plus one space for every four (4) seats in any public assembly area.

* Government Offices, Facilities, & Support: 54,724 sf

* Public Assembly (Comm. Chambers & Community Center):

- * Multi purpose room: 100 seats
- * Council Chamber: 71 seats
- * Total number of seats: 171 seats

Use	Min. Req. Parking Spaces	SF or Seat	Total
Government Offices	1/300 sf gfa	54,724	182
Public Assembly	1/every four seats	171	43

Total: 225 ps

Parking Dimensions, as per Section 5.2.2(a)(1),

* Minimum stall size shall be 9ft x 18ft

- * Minimum driving aisle width (90°) shall be 23ft
- * Minimum one-way drive width shall be 23ft
- * Minimum two-way drive width shall be 23ft

Parking Reduction

* As per Section 152.044, (E),(2), exceptions to parking requirements:
To waive or reduce the parking and loading requirements in any district whenever the character or use of the building is such as to make unnecessary the full provision of parking or loading facilities.

Proposed Parking Spaces:

FLR/ Level	Staff	HCP	Visitor	Total
P1	0	2	34	36
P2	0	2	34	36
P3	0	1	35	36

Subtotal: 0 5 103 108

Total Parking Spaces:

108

Minimum Required Accessible Parking Spaces as per, 2012 Florida Accessibility Code, Table 208.2

* Total Number of Spaces from 101 to 150 = 5 spaces

Minimum Required Van Accessible Parking Spaces as per, 2012 Florida Accessibility Code, section 208.2.4

* 1 Accessible Van Space per every 6 Accessible spaces

225 spaces 108 spaces

Requires an acceptance by the Village Commission for the reduction in parking requirements.

ZONING ANALYSIS

Min. Req. / Max. Allowed

Proposed

OFF-STREET LOADING:

* As per Section 152.045, (B), An off-street loading space shall include an area of at least 12-feet wide by 30-feet long with 14½ feet vertical clearance,

Applicable sections:

As per Section 152.045, (F),(2): Off-street loading requirements,
For every building or building group Multifamily residential use, hotel, motel, office, hospital, spa, place of public assembly, or similar use:

* Range 50,000sf to 100,000sf : 2 berth

Loading space definition: A space within the main building or in the same lot providing for the standing, loading, or unloading of trucks.

Loading Berth Reduction

* As per Section 152.044, (E),(2), exceptions to parking requirements:
To waive or reduce the parking and loading requirements in any district whenever the character or use of the building is such as to make unnecessary the full provision of parking or loading facilities.

BAYVIEW

As per Section 155.08, (E)

* All projects shall provide bay walkways along the rear of the property, which can be connected to other properties. (Ord. No. 2006-14, § 1, 8-17-06)

2 berth 0 berth

Requires an acceptance by the Village Commission for the reduction in loading requirements.



NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



WOLFBURG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

ZONING ANALYSIS

AN ORDINANCE OF NORTH BAY VILLAGE, FLORIDA AMENDING CHAPTER 152, ADDING SECTION 152.033 ENTITLED “GOVERNMENT USE DISTRICT” TO CREATE STANDARDS FOR A GOVERNMENT USE ZONING DISTRICT; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE VILLAGE CODE; AND PROVIDING AN EFFECTIVE DATE. (INTRODUCED BY MAYOR CONNIE LEON-KREPS)

WHEREAS, the Commission of North Bay Village has determined that a government use zoning district should be created to accommodate the development of government owned facilities; and

WHEREAS, the City Commission hereby finds and declares that the government use is consistent within the Public Buildings and Grounds Future Land Use category.

WHEREAS, the Commission of North Bay Village desires to ensure adequate public facilities to operate the governmental functions of North Bay Village.

WHEREAS, the Planning and Zoning Board has reviewed this Ordinance at a duly advertised public hearing and recommended _____ of the Ordinance; and

WHEREAS, the City Commission hereby finds and declares that adoption of this Ordinance is necessary, appropriate, and advances the public interest.

NOW, THEREFORE, BE IT ENACTED BY THE VILLAGE COMMISSION OF NORTH BAY VILLAGE, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above stated recitals is true and correct and incorporated herein by this reference.

Section 2. Village Code Amended. Section 152.033 of the North Bay Village Code of Ordinances is hereby created to read as follows:

§ 152.033 – Government use district.

- (A) Purpose and intent. The Government Use Zoning District is intended for federal, state and local government activities, transportation facilities, public facilities and utilities and other similar facilities owned or operated by government that generally serve and benefit the community.
- (B) Uses permitted.
- (1) Government owned facilities
 - (2) Government operated facilities

(C) Special uses permitted. Uses permitted upon approval of the Village Commission in accordance with the provisions pertaining to use exceptions.

(D) Site development standards

- (1) Minimum lot size
 - a. Area: no minimum lot size
 - b. Frontage: no minimum frontage
- (2) Minimum yard setbacks
 - a. Kennedy Causeway: 20 feet
 - b. Other street frontages: 10 feet
 - c. Rear: 10 feet
 - d. Abutting commercial zoning district: 5 feet
 - e. Abutting multi-family zoning district: 7 feet
 - f. Abutting single-family zoning district: 15 feet
- (3) Maximum building height: 150 feet
- (4) Minimum pervious area: Fifteen percent of the total parcel

Section 3. Repeal. All ordinances or parts of ordinances, resolutions or parts of resolutions in conflict herewith are repealed to the extent of such conflict.

Section 4. Severability. The provisions of this Ordinance are declared to be non-severable and if any section, sentence, clause or phrase of this Ordinance shall for any reason be held to be invalid or unconstitutional, such decision shall render this Ordinance void in its entirety.

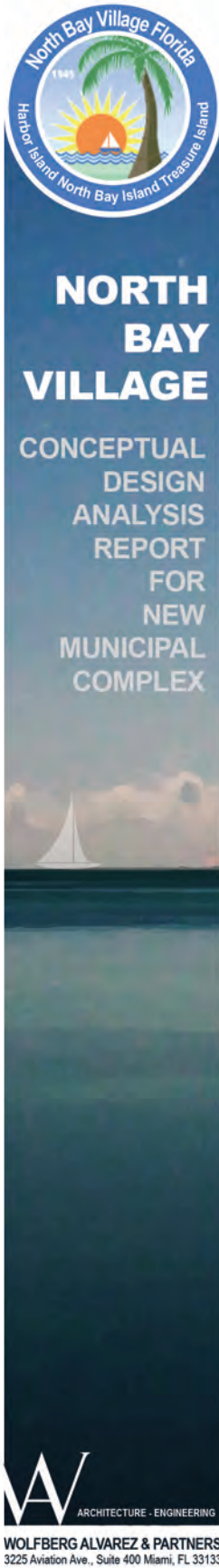
Section 5. Inclusion in the Code. It is the intention of the Village Commission, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the Code of North Bay Village; that the sections of this Ordinance may be renumbered or re-lettered to accomplish such intentions; and that the word “Ordinance” shall be changed to “Section” or other appropriate word.

Section 6. Effective Date. This Ordinance shall be effective immediately upon adoption on second reading.

A motion to approve the foregoing Ordinance on first reading on _____ was offered by _____, seconded by _____.

The Votes were as follows:

Mayor Connie Leon-Kreps	_____
Vice Mayor Jorge Gonzalez	_____
Commissioner Richard Chervony	_____
Commissioner Andreana Jackson	_____
Commissioner Eddie Lim	_____



A motion to approve the foregoing Ordinance on first reading was offered by _____, seconded by_____.

FINAL VOTES AT ADOPTION:

Mayor Connie Leon-Kreps _____
Vice Mayor Jorge Gonzalez _____
Commissioner Richard Chervony _____
Commissioner Andreana Jackson _____
Commissioner Eddie Lim _____

DULY PASSED AND ADOPTED __ day of _____ 2016.

Connie Leon-Kreps
Mayor

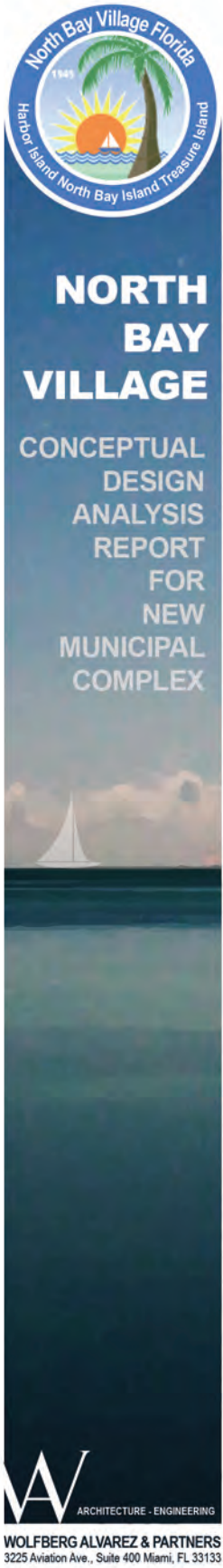
ATTEST:

Yvonne P. Hamilton
Village Clerk

**APPROVED AS TO FORM FOR THE USE OF
NORTH BAY VILLAGE ONLY:**

Robert L. Switkes & Associates, P.A.
Village Attorney

North Bay Village Ordinance- Prohibition of Additional Charges for Tenant and Guest Parking.





NORTH BAY VILLAGE

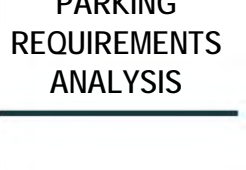
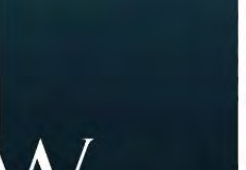
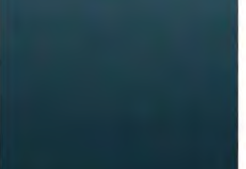
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FOR
NEW
MUNICIPAL
COMPLEX

SECTION



NORTH BAY VILLAGE

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FOR
NEW
MUNICIPAL
COMPLEX



PARKING REQUIREMENTS ANALYSIS

The minimum number of “off street parking” required for new developments within the Village is governed by the zoning code. For this building, parking requirements are determined by Section 152.044 (C)(3) of the code, whereas community facilities, government offices and the like require one space for every 300 square feet of gross floor area, plus an additional one space for every four seats in any public assembly area. Based solely on these requirements, the minimum number of spaces required to satisfy the code is estimated at approximately 225 spaces (refer to zoning analysis). However, this approach would require building far more spaces than what would be needed at a substantial costs. To determine the building’s actual needs, Village Administration compiled data and undertook an analysis. Based on the proposed uses, their associated staffing levels, hours of operation, shift changes and anticipated number of visitors, a matrix was developed to determine the minimum number of spaces required during peak hours. Those results are as follows:

MUNI-Complex Parking User	HOUR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24/0
Building Dept. Personnel		0	0	0	0	0	0	0	10	10	10	10	10	10	10	10	10	10	0	0	0	0	0	0	0
Building Dept. Customers		0	0	0	0	0	0	0	10	10	10	10	10	10	10	10	10	10	0	0	0	0	0	0	0
Village Admin Personnel		0	0	0	0	0	0	0	31	31	31	31	31	31	31	31	31	31	7	7	5	5	5	5	5
Mayor & Commissioners		0	0	0	0	0	0	0	2	2	2	2	2	2	2	2	2	5	6	6	6	6	6	6	6
Fire Personnel including @ shift change		8	8	8	8	8	8	15	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8	8
Police Personnel including @ Shift change		13	13	13	13	13	13	25	13	13	13	13	13	13	13	25	13	13	13	13	13	13	13	25	13
Commission Meeting (one day per month)		0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	50	50	50	50	50	50	50
Community Center (closed @ 5 for Comm Mtg.- once per month)		0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Spaces Required / hour		21	21	21	21	21	21	40	74	74	74	74	74	74	74	86	74	77	84	84	82	82	82	94	82

The analysis, which includes 50 people attending a meeting in the new Chambers once a month, resulted in a maximum need of 94 spaces at the peak hour of 11:00pm for the all-inclusive Scheme 1 (complete program), as well as for Scheme 2 (no Community Center), and 89 spaces for the smaller Scheme 3 (Police, Fire, Commissioners, and Chambers).

Under this scenario, the available land, the site’s geometry and achievable floor plate for a garage, all three schemes are estimated to require 3 levels of structured of parking (roughly 36 spaces per floor x 3 floors yields 108 spaces).



WOLFBERG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

PARKING
REQUIREMENTS
ANALYSIS



NORTH BAY VILLAGE

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FOR
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MUNICIPAL
COMPLEX

SECTION

6

NORTH BAY VILLAGE
MUNICIPAL COMPLEX

7903 EAST DRIVE
NORTH BAY VILLAGE, FL 33141-3310

OWNER:
CITY OF NORTH BAY VILLAGE

ALTERNATE #1

WOLFBERG ALVAREZ

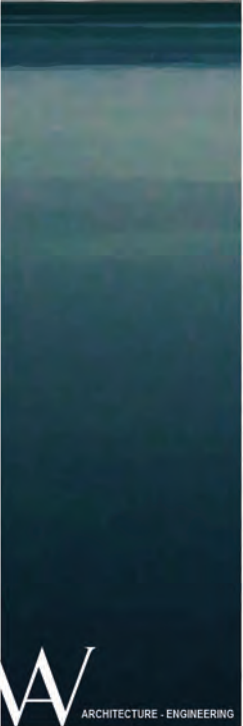


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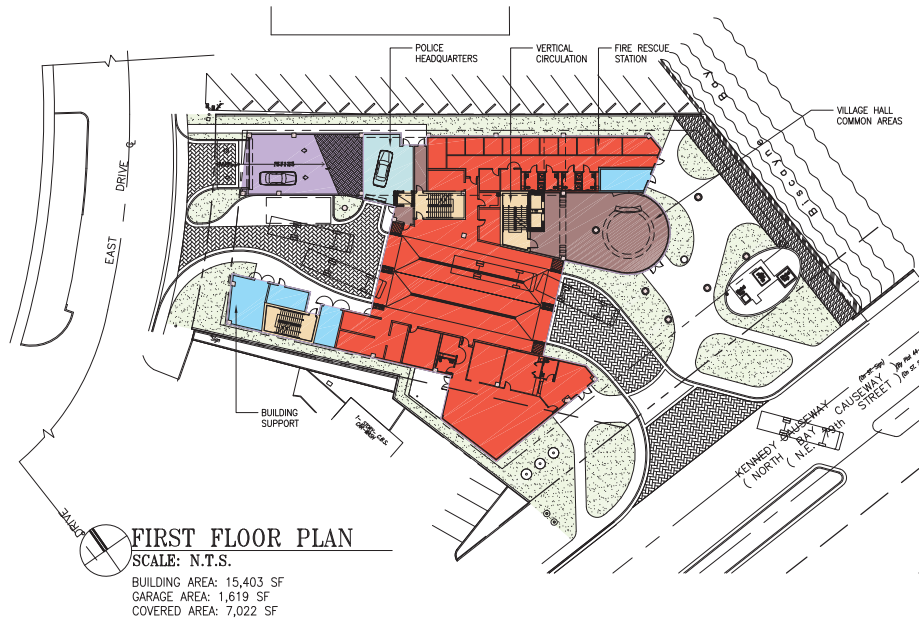
NORTH
BAY
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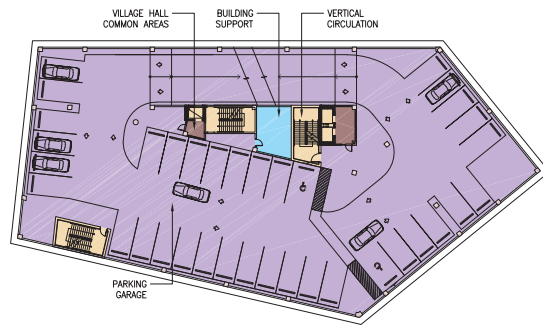


WOLFBERG ALVAREZ & PARTNERS
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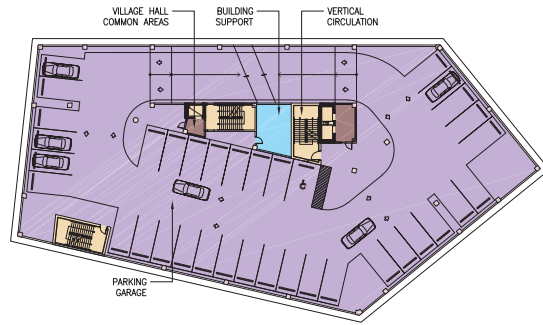
SCHEME
#1



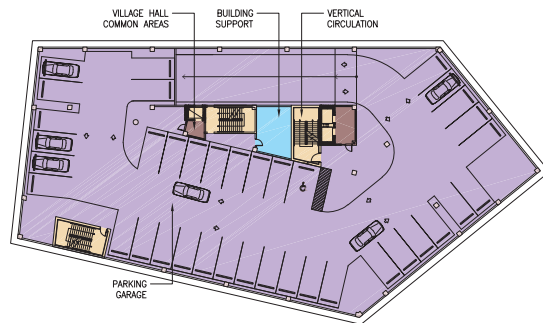
FIRST FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 15,403 SF
GARAGE AREA: 1,619 SF
COVERED AREA: 7,022 SF



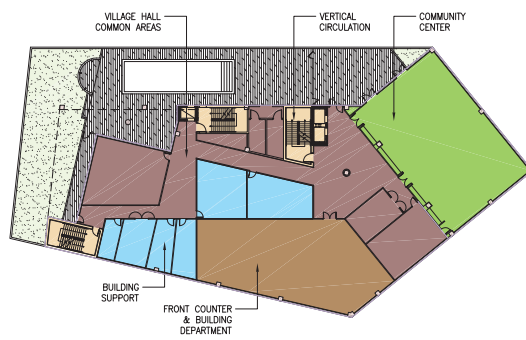
SECOND FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 22,575 SF



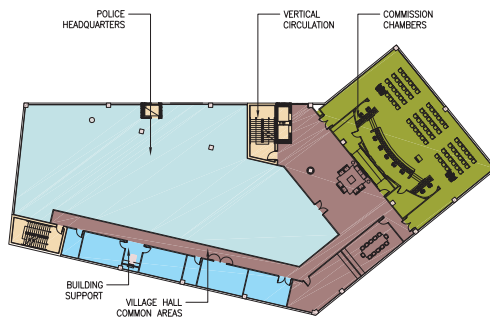
THIRD FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 22,575 SF



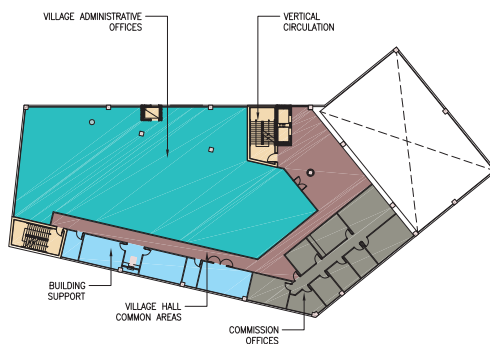
FOURTH FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 22,575 SF



FIFTH FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 16,877 SF
TERRACE: 5,698 SF



SIXTH FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 17,289 SF



SEVENTH FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 17,289 SF

SCHEME #1:

PROJECT DATA

- NUMBER OF STORIES: 7
- NUMBER OF PARKING SPACES: 108±
- BUILDING GROSS AREA: 145,835 S.F.
 - BUILDING: 131,609 S.F.
 - EXTERIOR COVERED: 7,022 S.F.
 - TERRACE: 7,204 S.F.

SUMMARY

DESCRIPTION
■ FIRE RESCUE STATION
■ POLICE HEADQUARTERS & DISPATCH
■ COMMUNITY CENTER
■ COMMISSION CHAMBERS
■ COMMISSION OFFICES
■ VILLAGE ADMINISTRATIVE OFFICES
■ FRONT COUNTER & BUILDING DEPARTMENT
■ VILLAGE HALL COMMON AREAS
■ CIRCULATION
■ BUILDING SUPPORT
■ PARKING GARAGE



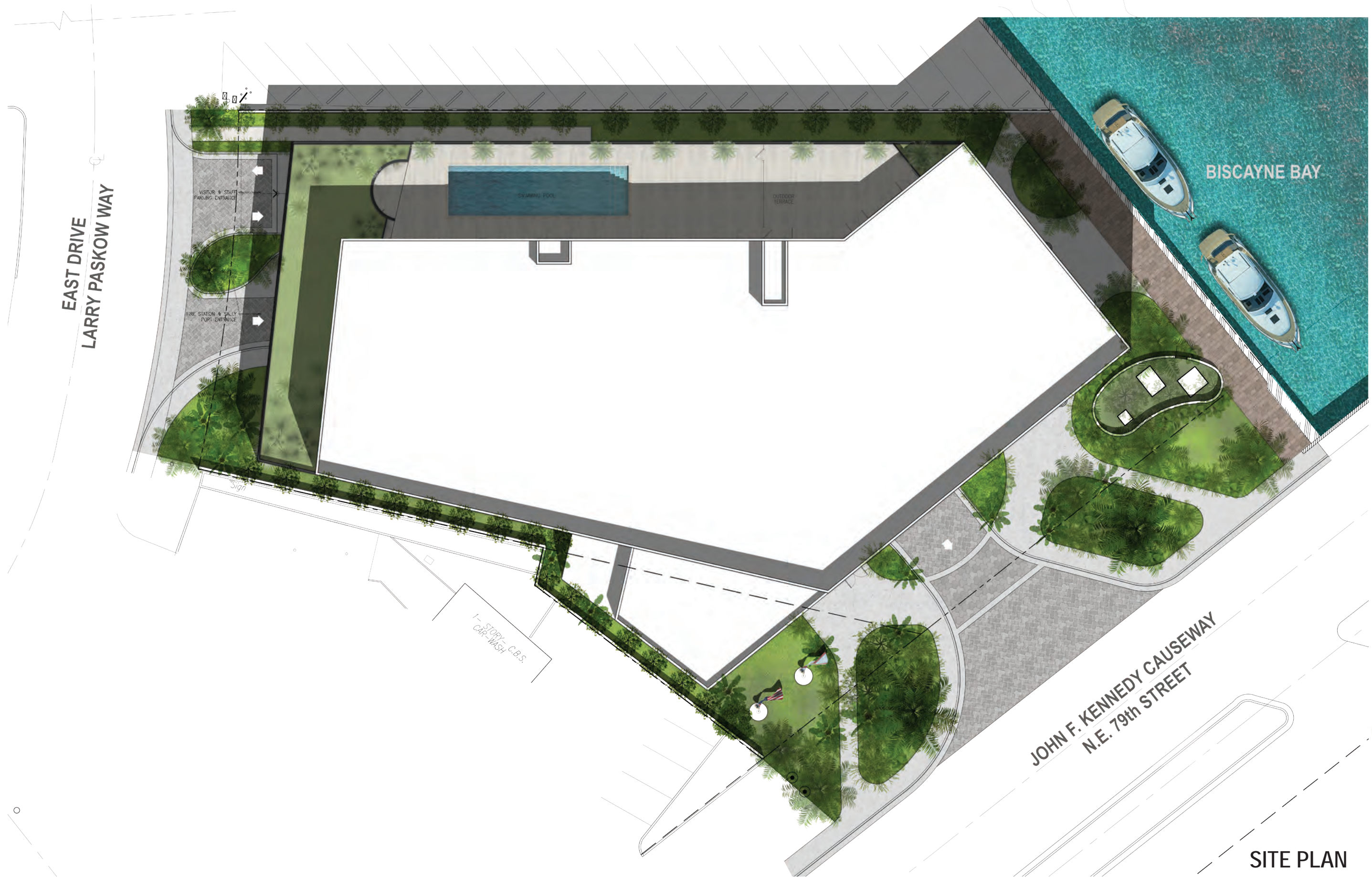
NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



WOLFBERG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

SCHEME #1



**NORTH
BAY
VILLAGE**

CONCEPTUAL
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ANALYSIS
REPORT
FOR
NEW
MUNICIPAL
COMPLEX



WOLFBURG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

SITE PLAN

**SCHEME
#1**

EAST DRIVE (LARRY PASKOW WAY)



FIRST FLOOR PLAN



NORTH BAY VILLAGE

CONCEPTUAL
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REPORT
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WOLFBURG ALVAREZ & PARTNERS
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SCHEME
#1



NORTH BAY VILLAGE

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WOLFBURG ALVAREZ & PARTNERS
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SECOND FLOOR PLAN

SCHEME
#1



THIRD FLOOR PLAN



NORTH BAY VILLAGE

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WOLFBURG ALVAREZ & PARTNERS
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SCHEME
#1



NORTH BAY VILLAGE

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FOURTH FLOOR PLAN



NORTH BAY VILLAGE

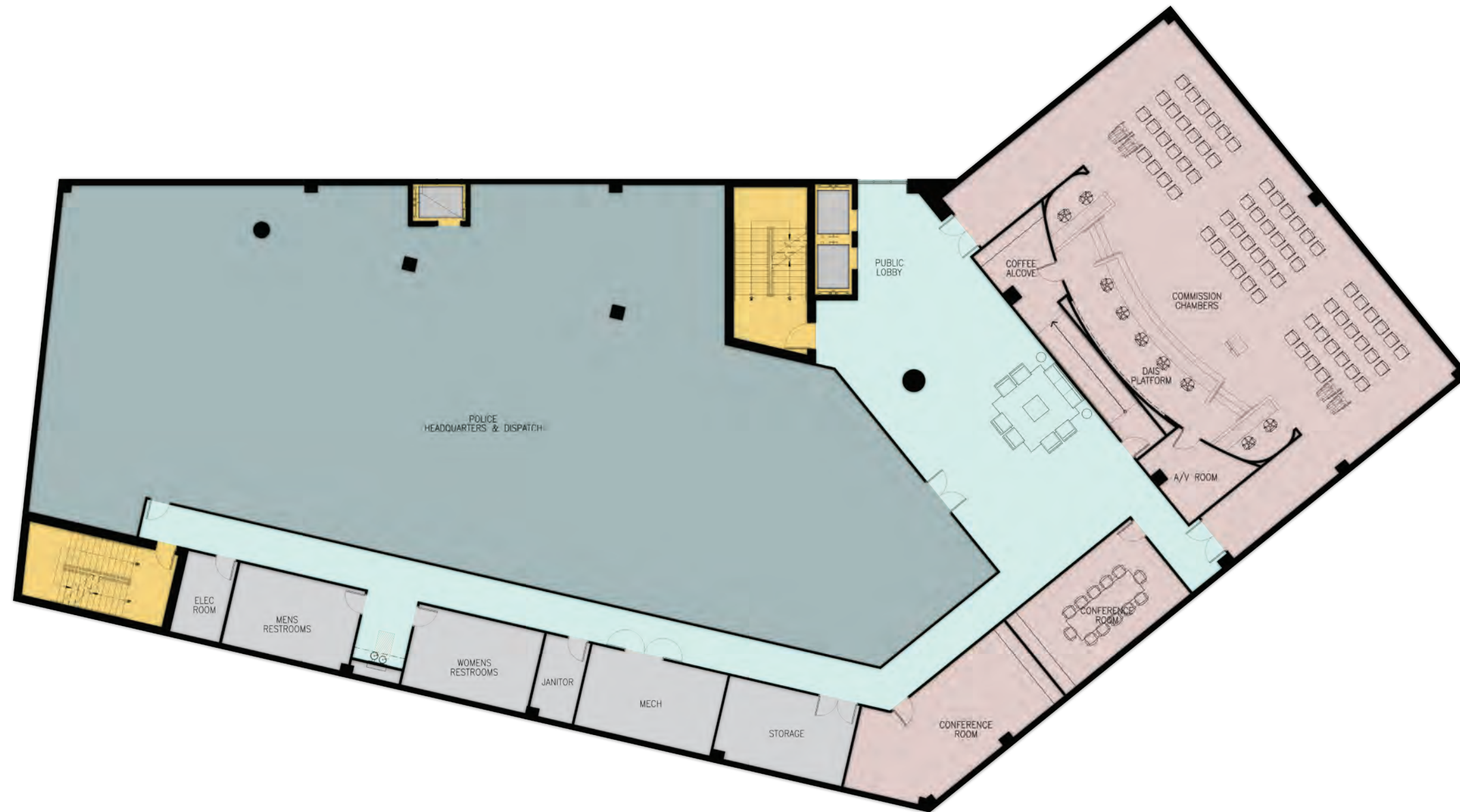
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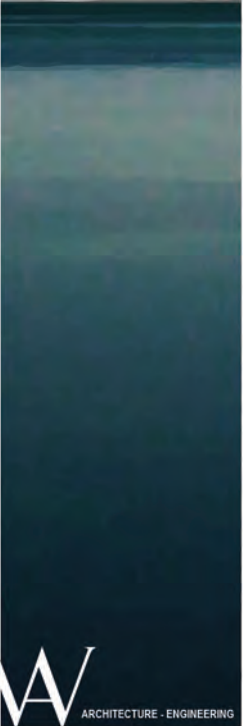
FIFTH FLOOR PLAN

SCHEME
#1



NORTH BAY VILLAGE

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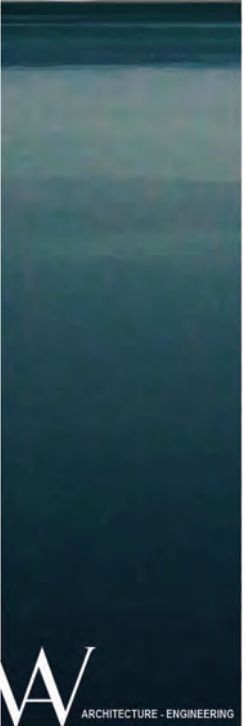
SIXTH FLOOR PLAN

SCHEME
#1



NORTH BAY VILLAGE

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WOLFBURG ALVAREZ & PARTNERS
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SEVENTH FLOOR PLAN

SCHEME
#1



NORTH BAY VILLAGE

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MUNICIPAL
COMPLEX

SECTION

7

NORTH BAY VILLAGE
MUNICIPAL COMPLEX

7903 EAST DRIVE
NORTH BAY VILLAGE, FL 33141-3310

OWNER:
CITY OF NORTH BAY VILLAGE

ALTERNATE #2

WOLFBERG ALVAREZ

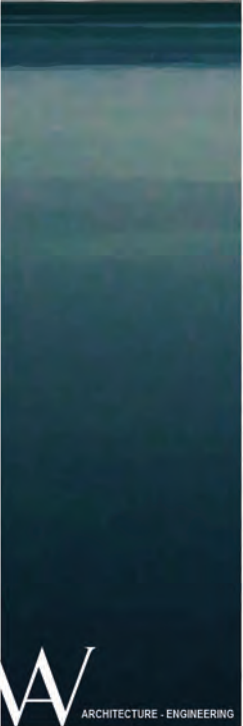


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WOLFBERGALVAREZ.COM
AA 002416 EB 002354



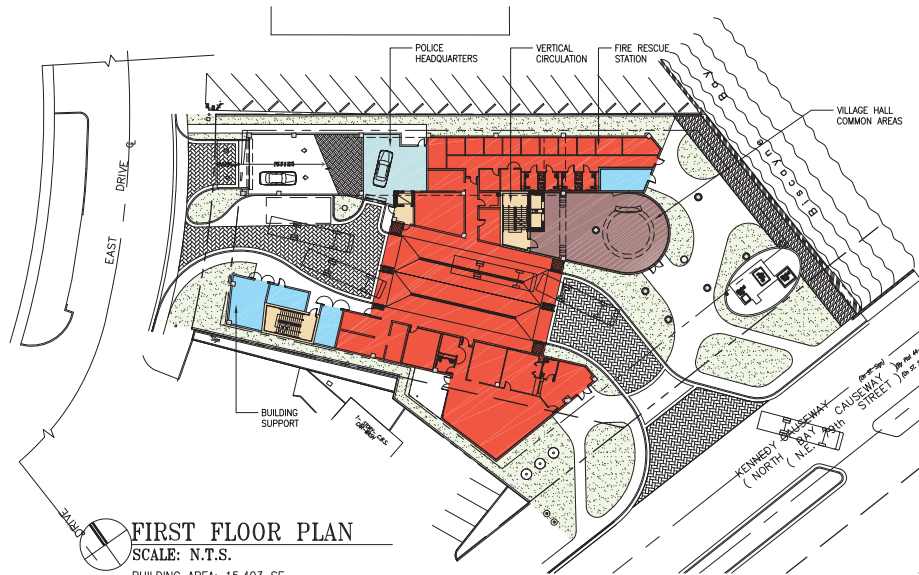
NORTH
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VILLAGE

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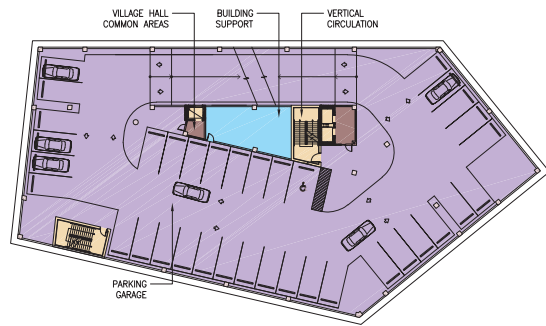


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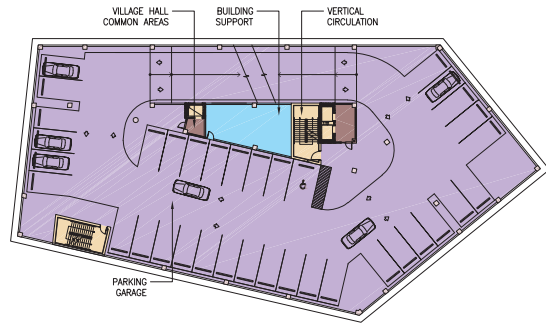
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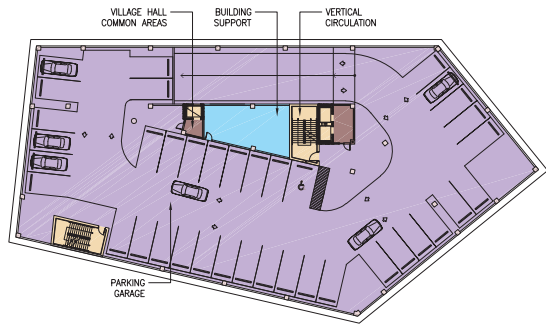
FIRST FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 15,403 SF
GARAGE AREA: 1,619 SF
COVERED AREA: 7,022 SF



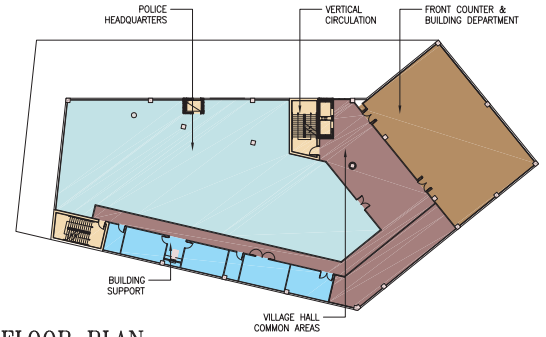
SECOND FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 22,575 SF



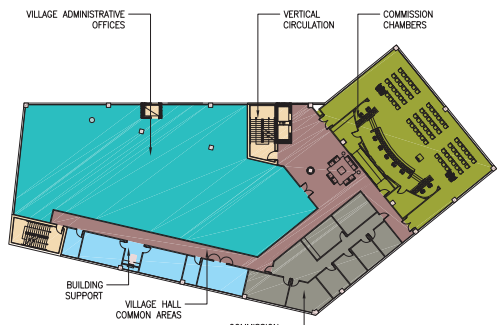
THIRD FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 22,575 SF



FOURTH FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 22,575 SF



FIFTH FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 17,289 SF



SIXTH FLOOR PLAN
SCALE: N.T.S.
BUILDING AREA: 17,289 SF

SCHEME #2:

PROJECT DATA

- NUMBER OF STORIES: 6
- NUMBER OF PARKING SPACES: 108±
- BUILDING GROSS AREA: 126,348 S.F.
 - BUILDING: 119,326 S.F.
 - EXTERIOR COVERED: 7,022 S.F.

SUMMARY

DESCRIPTION
• FIRE RESCUE STATION
• POLICE HEADQUARTERS & DISPATCH
• COMMISSION CHAMBERS
• COMMISSION OFFICES
• VILLAGE ADMINISTRATIVE OFFICES
• FRONT COUNTER & BUILDING DEPARTMENT
• VILLAGE HALL COMMON AREAS
• CIRCULATION
• BUILDING SUPPORT
• PARKING GARAGE

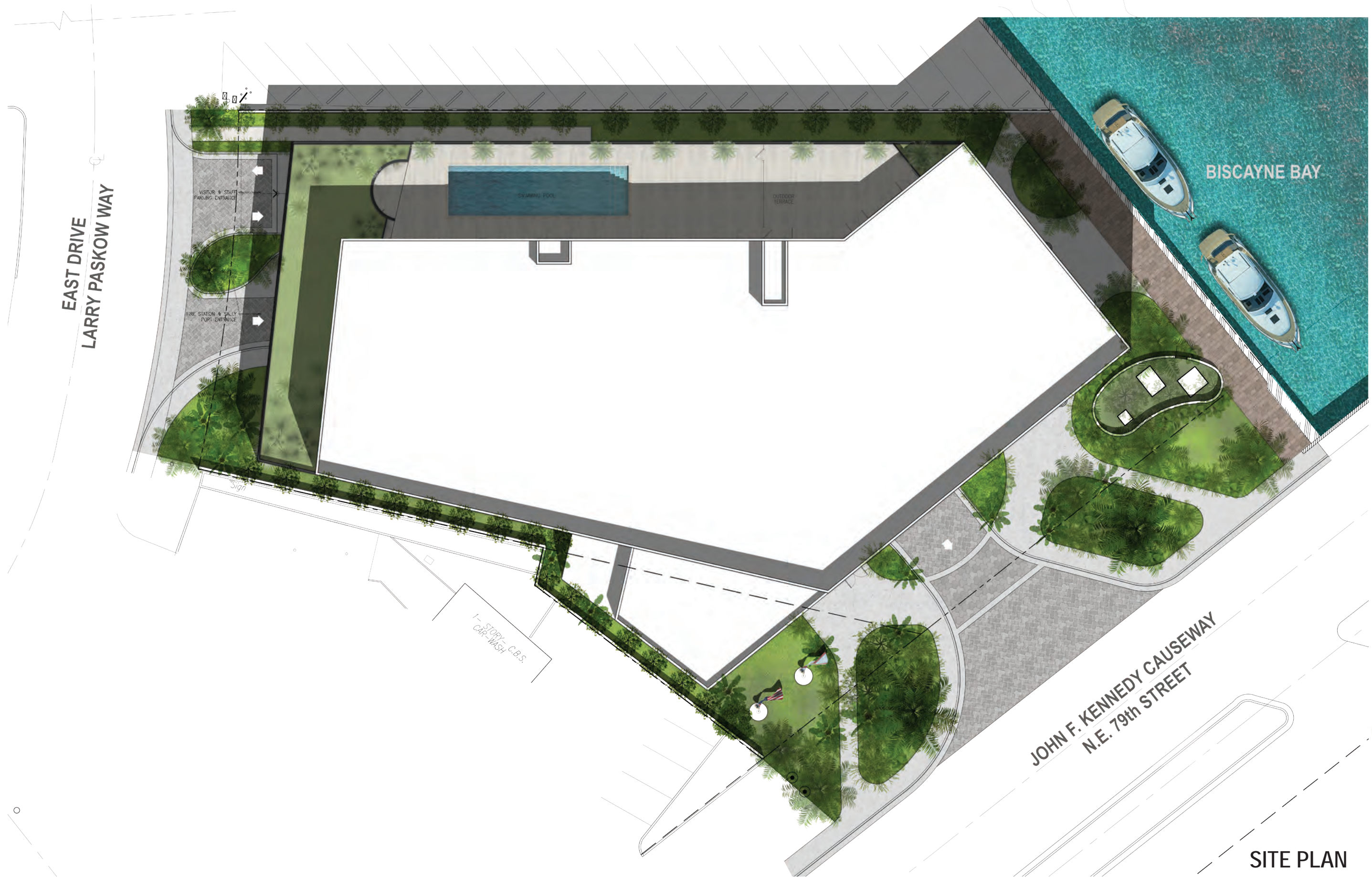


NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



WOLFBURG ALVAREZ & PARTNERS
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**NORTH
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VILLAGE**

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WOLFBURG ALVAREZ & PARTNERS
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SITE PLAN

**SCHEME
#2**



FIRST FLOOR PLAN



NORTH BAY VILLAGE

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WOLFBURG ALVAREZ & PARTNERS
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SCHEME
#2



SECOND FLOOR PLAN



NORTH BAY VILLAGE

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NORTH BAY VILLAGE

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WOLFBURG ALVAREZ & PARTNERS
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FOURTH FLOOR PLAN



NORTH BAY VILLAGE

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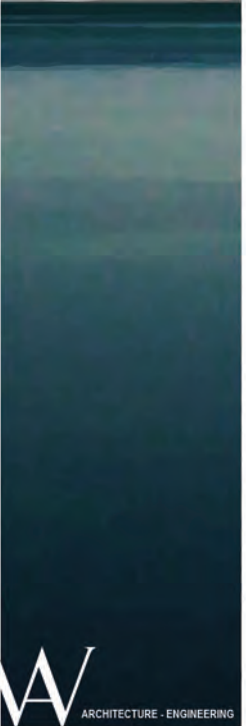
WOLFBURG ALVAREZ & PARTNERS
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SCHEME
#2

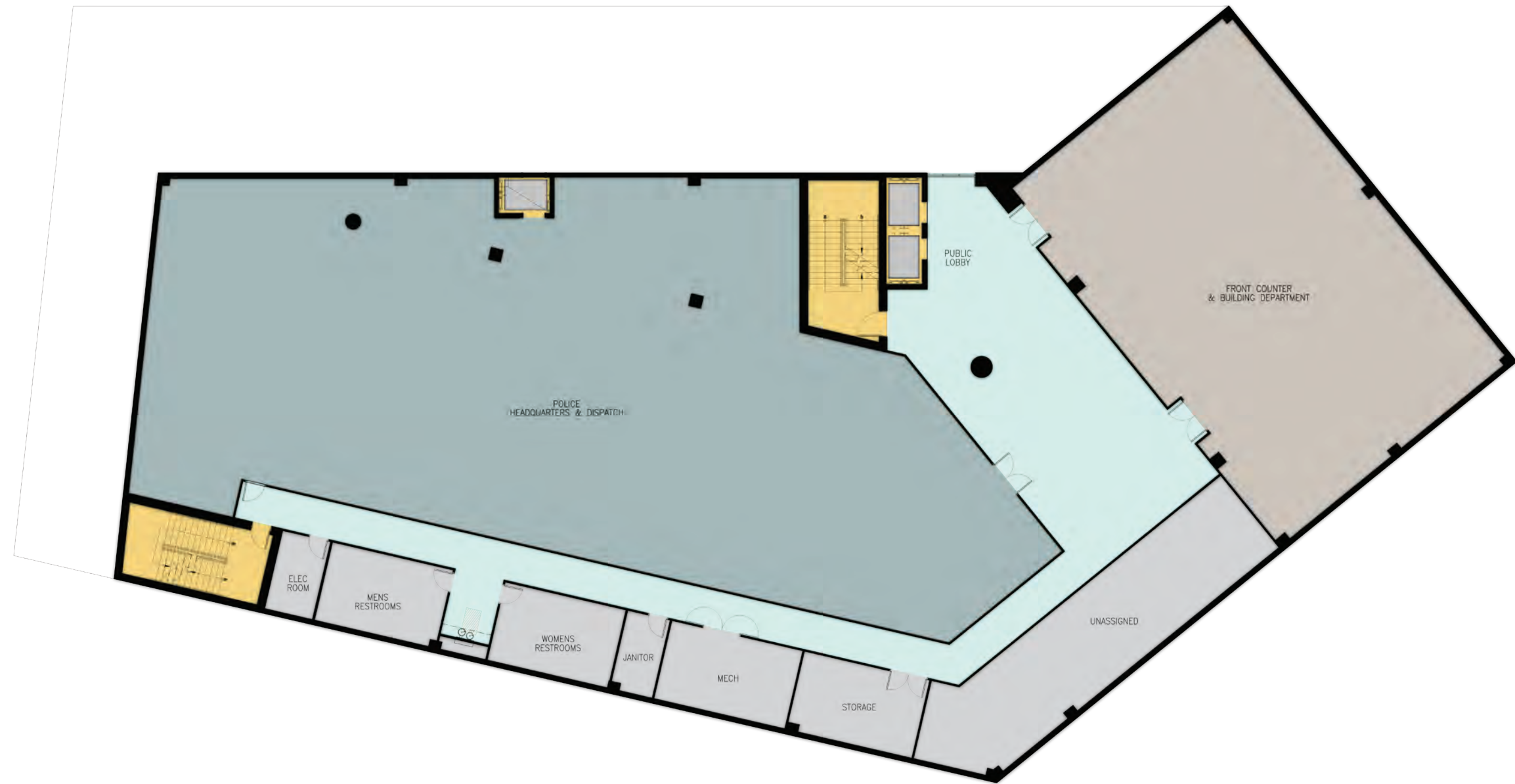


NORTH BAY VILLAGE

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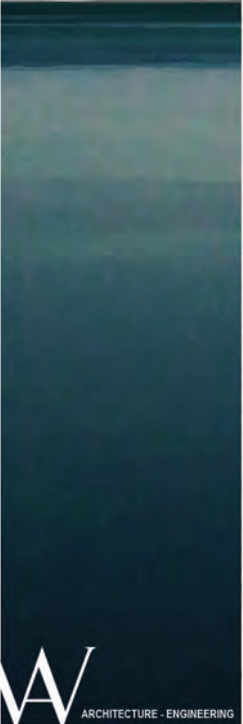
FIFTH FLOOR PLAN

SCHEME
#2



NORTH BAY VILLAGE

CONCEPTUAL
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MUNICIPAL
COMPLEX



WOLFBURG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

SIXTH FLOOR PLAN



NORTH BAY VILLAGE

CONCEPTUAL
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REPORT
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NEW
MUNICIPAL
COMPLEX

SECTION

NORTH BAY VILLAGE
MUNICIPAL COMPLEX

7903 EAST DRIVE
NORTH BAY VILLAGE, FL 33141-3310

OWNER:
CITY OF NORTH BAY VILLAGE

ALTERNATE #3

WOLFBERG ALVAREZ

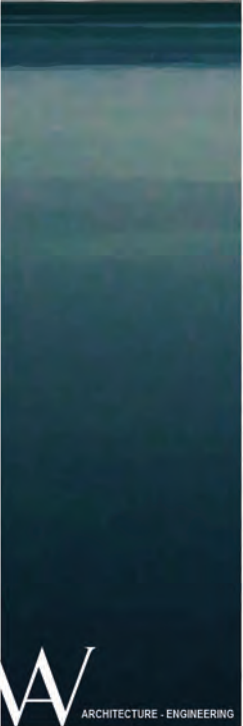


3225 AVIATION AVE., SUITE 400
MIAMI, FLORIDA 33133
V 305.666.5474
F 305.666.4994
WOLFBERGALVAREZ.COM
AA 002416 EB 002354



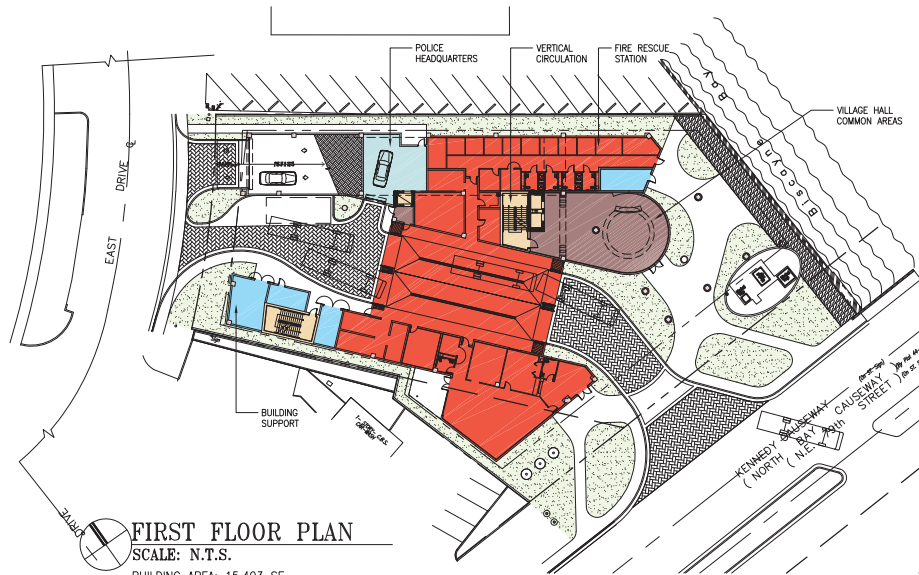
NORTH
BAY
VILLAGE

CONCEPTUAL
DESIGN
ANALYSIS
REPORT
FOR
NEW
MUNICIPAL
COMPLEX



WOLFBERG ALVAREZ & PARTNERS
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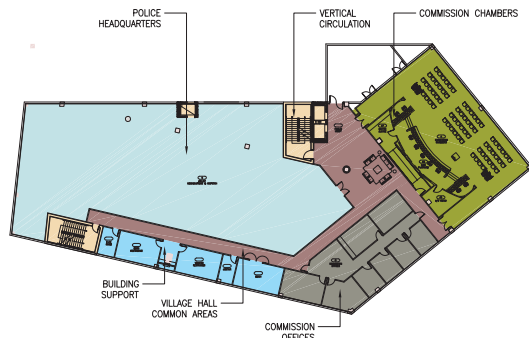
SCHEME
#3



FIRST FLOOR PLAN

SCALE: N.T.S.

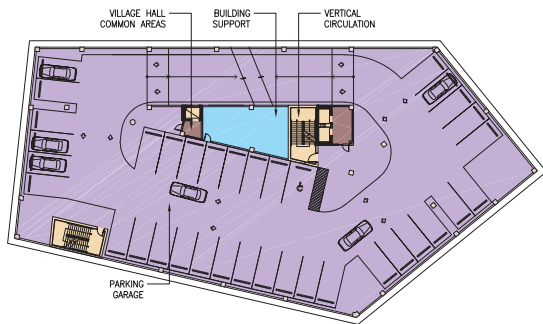
BUILDING AREA: 15,403 SF
GARAGE AREA: 1,619 SF
COVERED AREA: 7,022 SF



FIFTH FLOOR PLAN

SCALE: N.T.S.

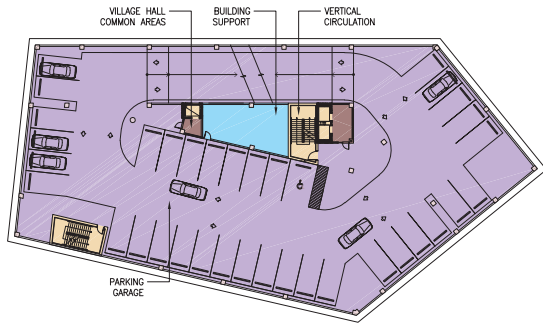
BUILDING AREA: 18,351 SF



SECOND FLOOR PLAN

SCALE: N.T.S.

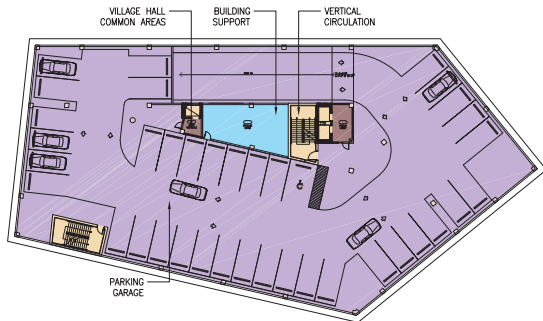
BUILDING AREA: 22,575 SF



THIRD FLOOR PLAN

SCALE: N.T.S.

BUILDING AREA: 22,575 SF



FOURTH FLOOR PLAN

SCALE: N.T.S.

BUILDING AREA: 22,575 SF

SCHEME #3:

PROJECT DATA

- NUMBER OF STORIES: 5
- NUMBER OF PARKING SPACES: 108±
- BUILDING GROSS AREA: 112,559 S.F.
 - BUILDING: 105,537 S.F.
 - BUILDING COVERED: 7,022 S.F.

SUMMARY

DESCRIPTION
<ul style="list-style-type: none">FIRE RESCUE STATION
<ul style="list-style-type: none">POLICE HEADQUARTERS & DISPATCH
<ul style="list-style-type: none">COMMISSION CHAMBERS
<ul style="list-style-type: none">COMMISSION OFFICES
<ul style="list-style-type: none">VILLAGE HALL COMMON AREAS
<ul style="list-style-type: none">CIRCULATION
<ul style="list-style-type: none">BUILDING SUPPORT
<ul style="list-style-type: none">PARKING GARAGE

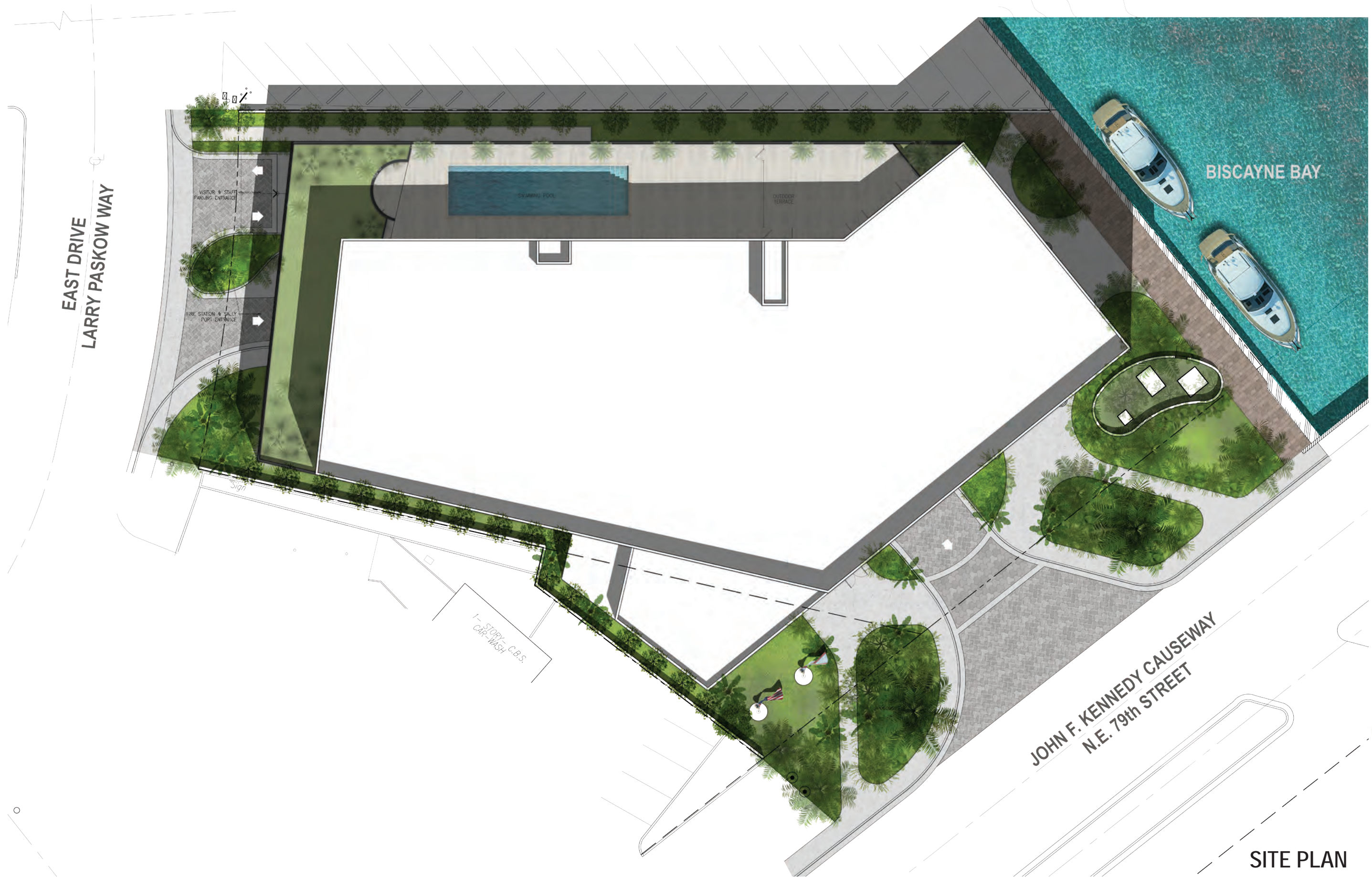


NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



WOLFBURG ALVAREZ & PARTNERS
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SITE PLAN

**SCHEME
#3**





SECOND FLOOR PLAN



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SCHEME
#3



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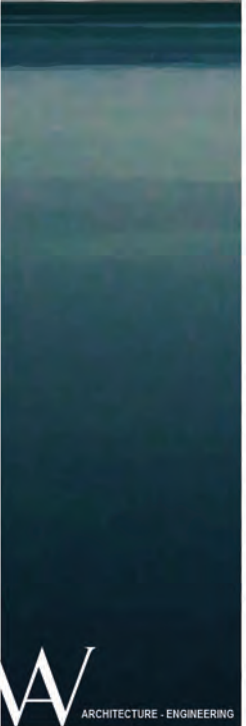


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FOURTH FLOOR PLAN



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FIFTH FLOOR PLAN

SCHEME
#3



NORTH BAY VILLAGE

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SECTION



VILLAGE HALL MAIN LOBBY



NORTH BAY VILLAGE

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INTERIOR
VIEWS



COUNCIL CHAMBERS



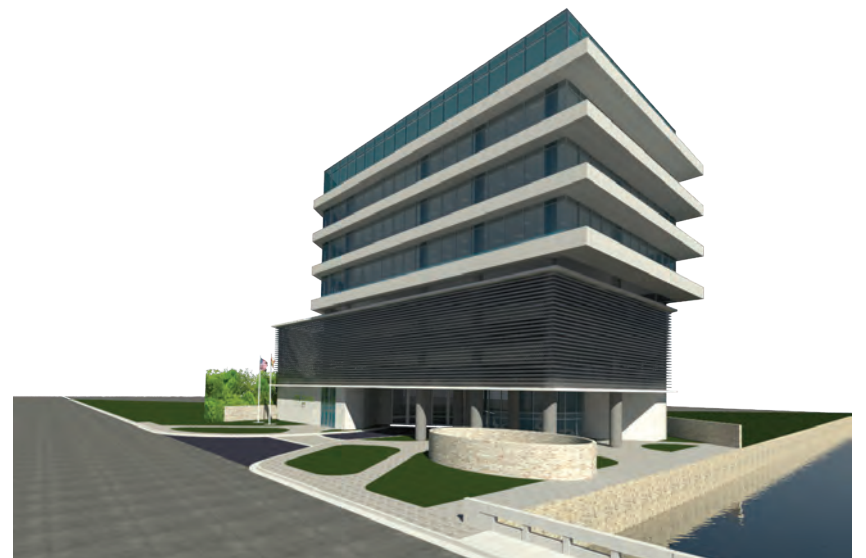
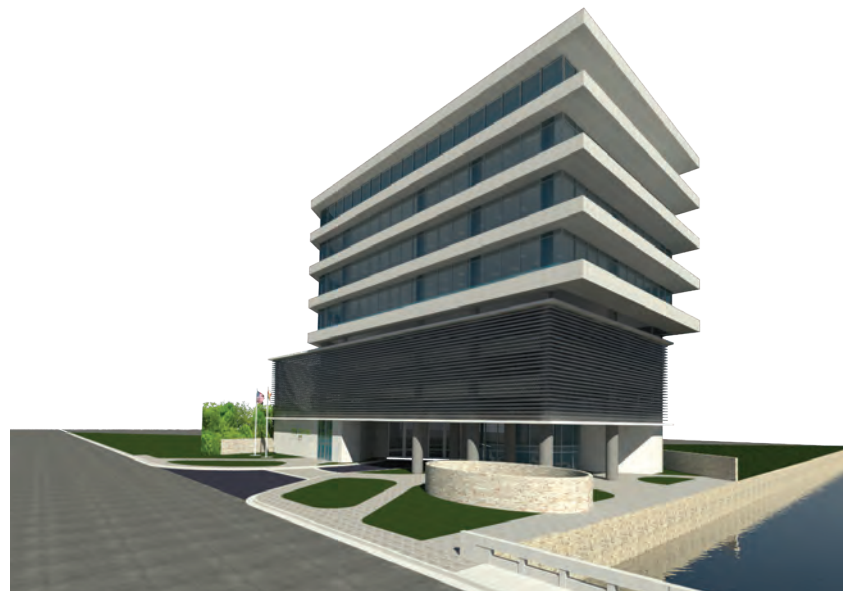
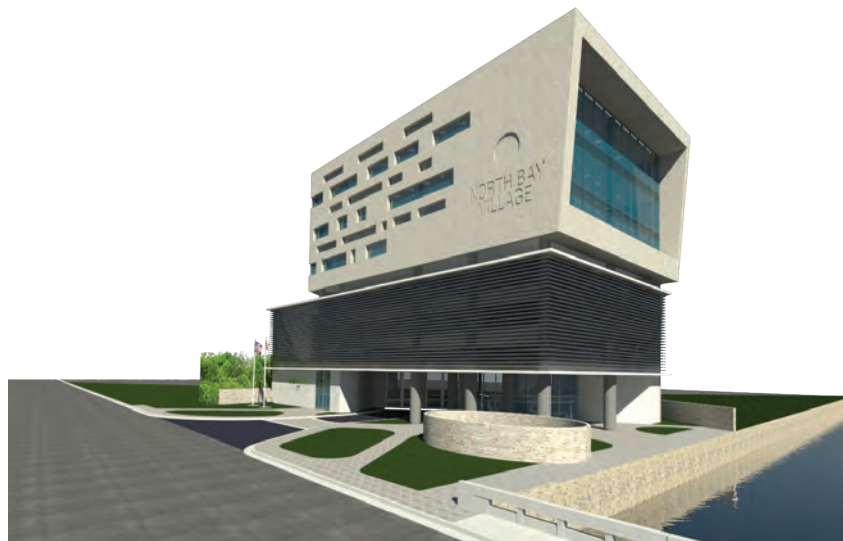
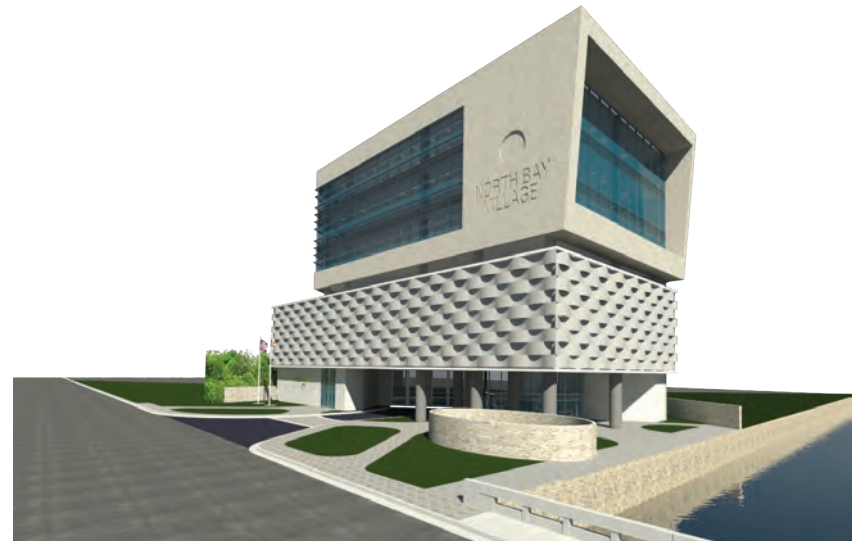
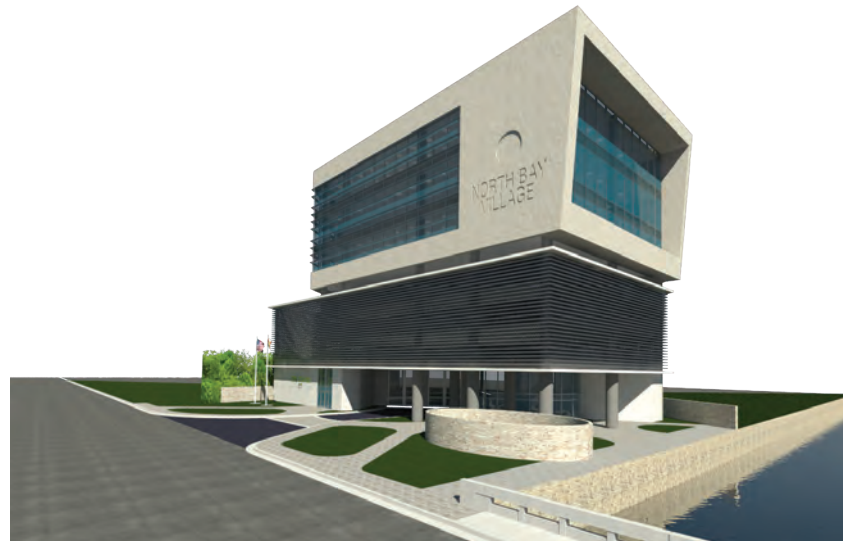
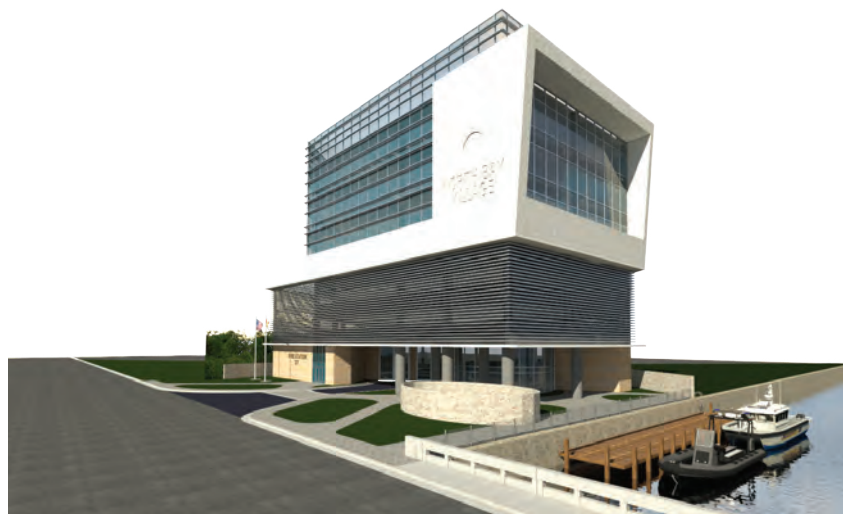
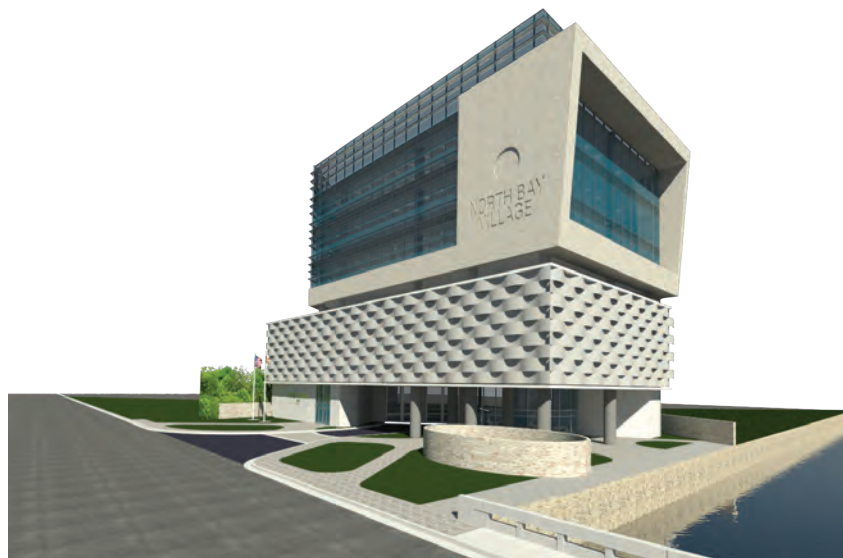
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INTERIOR
VIEWS



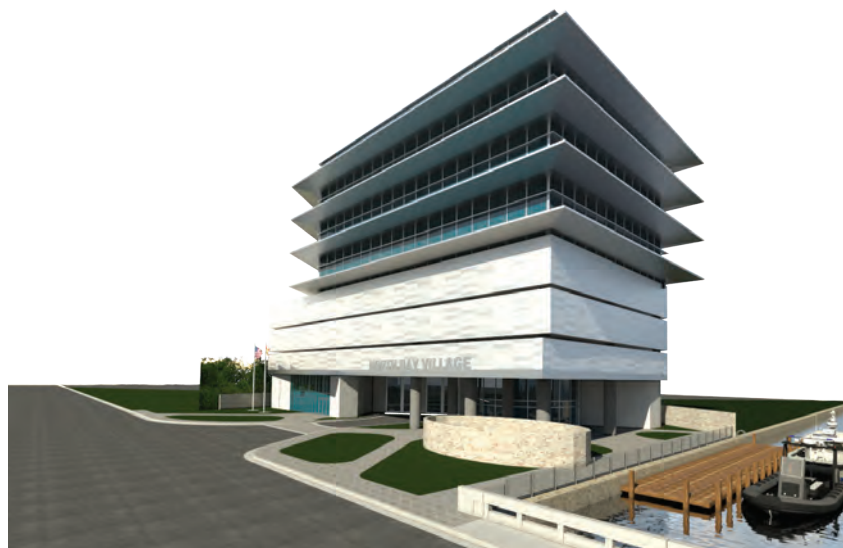
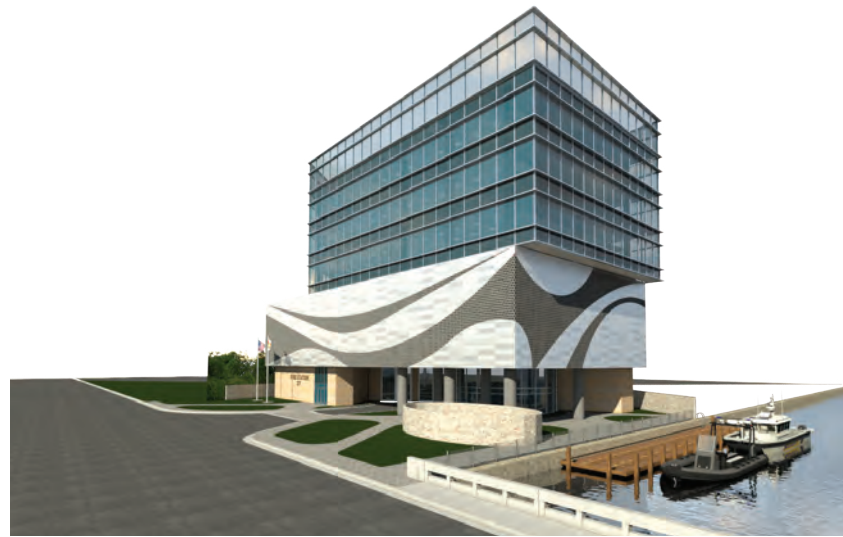
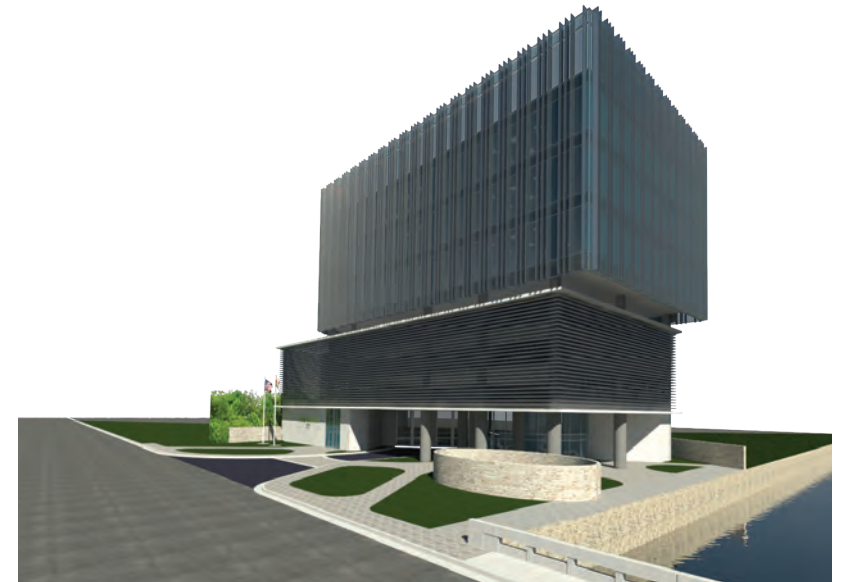
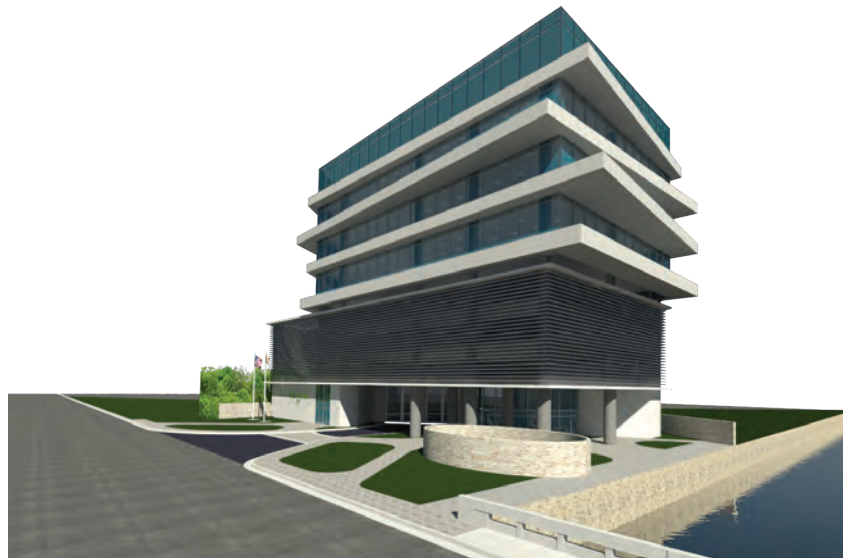
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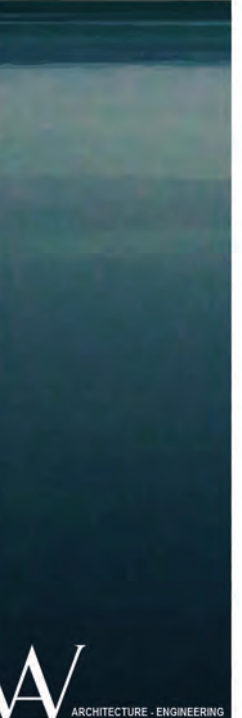
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VOLUMETRIC,
FAÇADE &
MATERIAL
STUDY



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**VOLUMETRIC,
FAÇADE &
MATERIAL
STUDY**



VIEW FROM JOHN F. KENNEDY CAUSEWAY



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EXTERIOR
VIEWS



VIEW FROM JOHN F. KENNEDY CAUSEWAY



**NORTH
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EXTERIOR
VIEWS



VIEW FROM JOHN F. KENNEDY CAUSEWAY



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VIEWS



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EXTERIOR
VIEWS



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EXTERIOR
VIEWS



NORTH BAY VILLAGE

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**NORTH
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COMPLEX



WOLFBERG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

ORDER OF
MAGNITUDE
CONSTRUCTION
COST ESTIMATE

ORDER OF MAGNITUDE CONSTRUCTION COST ESTIMATE

SCHEME 1

Site

Improvements:

* Water & Sewer Modifications	\$35,000
* Signalization Modifications	\$150,000

\$185,000

Building:

\$21,277,010

Floor	Use	Area (SF)				Cost/SF	Subtotal
		Building Interior	Garage	Ext. Covered	Open Terrace		
1	* Fire Rescue Station / Village Hall Common Areas	15,404				\$225	\$3,465,900
	* Exterior Covered			7,022		\$40	\$280,880
	* Parking Garage		1,619			\$75	\$121,425
2	* Parking Garage		22,575			\$75	\$1,693,125
3	* Parking Garage		22,575			\$75	\$1,693,125
4	* Parking Garage		22,575			\$75	\$1,693,125
5	* Community Center / Front Counter / Building Dept.	15,783				\$250	\$3,945,750
	* Exterior Terrace / Pool Deck				7,204	\$45	\$324,180
	* Pool						\$80,000
6	* Police Department / Village Hall Common Areas	13,789				\$250	\$3,447,250
	* Commission Chambers	3,500				\$310	\$1,085,000
7	* Administrative Offices / Commission Offices	13,789				\$250	\$3,447,250
		62,265	69,344	7,022	7,204	\$146	\$21,277,010

Subtotal:

Building Area: 131,609

\$21,462,010

General

Conditions:

* General Conditions	7.0%	\$1,502,341
* Liability Insurance	1.0%	\$229,644
* Builder's Risk - by City	0.0%	\$0
* Profit	7.5%	\$1,739,550
* Payment & Performance Bond	1.00%	\$249,335

\$3,720,869

Subtotal:

\$25,182,879

Contingency/Escalation:

8.00%

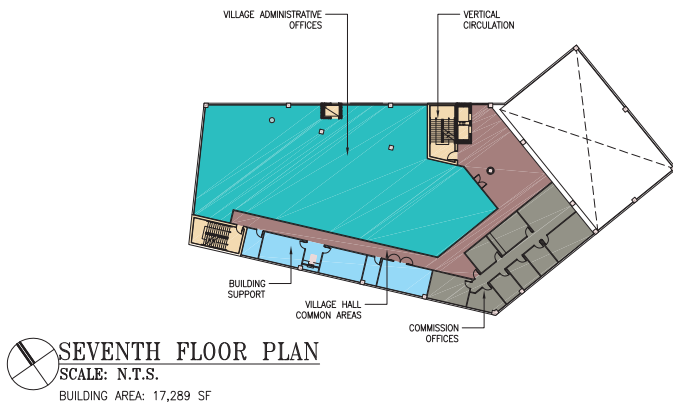
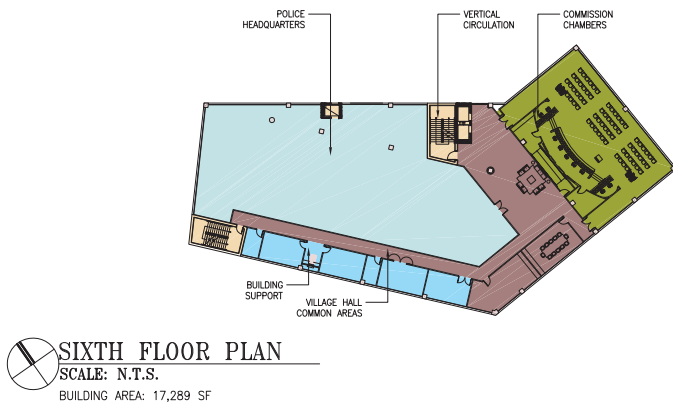
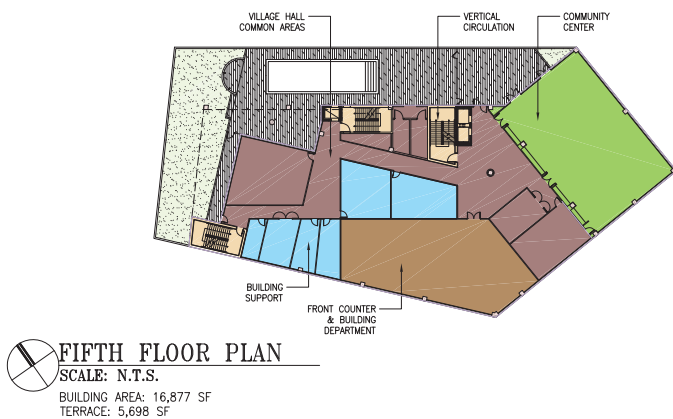
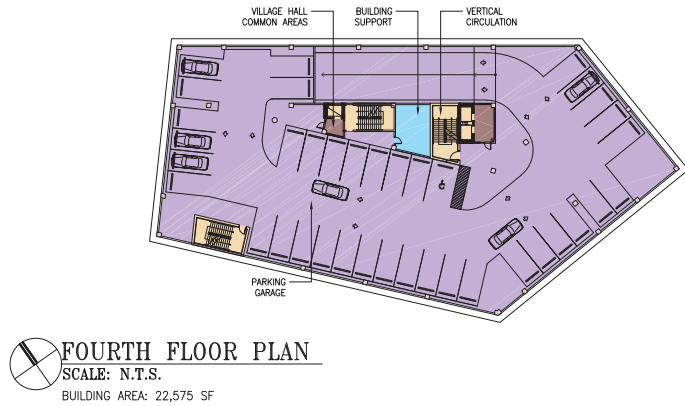
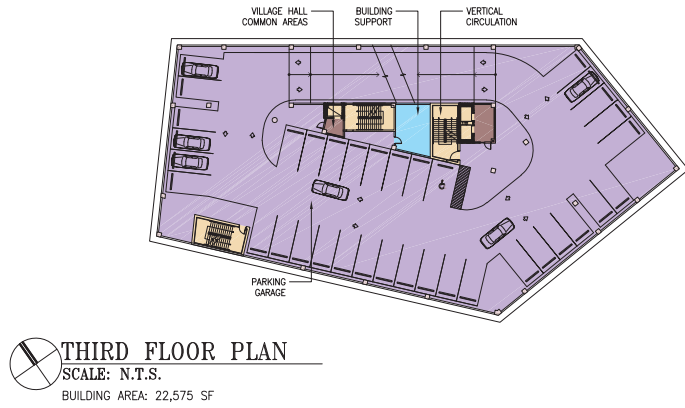
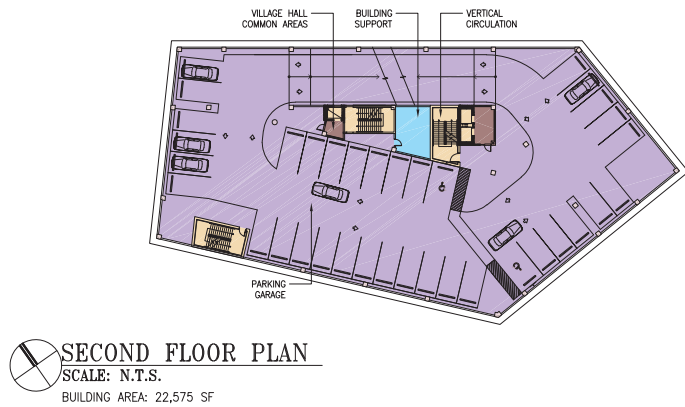
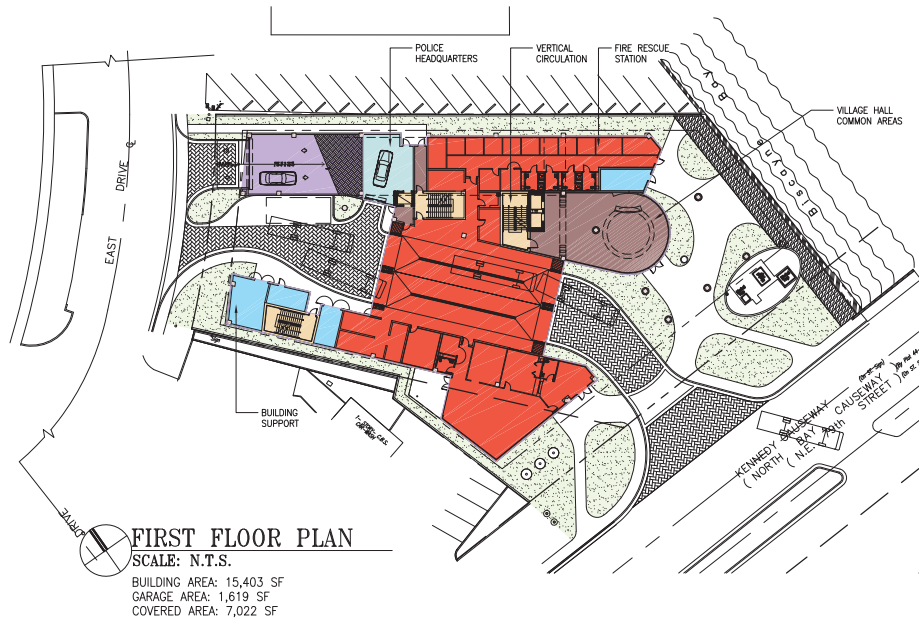
\$2,014,630.34

Grand Total:

\$27,197,510

QUALIFICATIONS

- (1) Estimate excludes any sea wall upgrades
- (2) Garage provides for minimum number of spaces needed and not the larger amount required by the current Zoning code.
- (3) Estimate reflects project commencement of construction in 2017.



SCHEME #1:	
PROJECT DATA	
• NUMBER OF STORIES: 7	
• NUMBER OF PARKING SPACES: 108±	
• BUILDING GROSS AREA: 145,835 S.F.	
– BUILDING:	131,609 S.F.
– EXTERIOR COVERED:	7,022 S.F.
– TERRACE:	7,204 S.F.
SUMMARY	
DESCRIPTION	
• FIRE RESCUE STATION	
• POLICE HEADQUARTERS & DISPATCH	
• COMMUNITY CENTER	
• COMMISSION CHAMBERS	
• COMMISSION OFFICES	
• VILLAGE ADMINISTRATIVE OFFICES	
• FRONT COUNTER & BUILDING DEPARTMENT	
• VILLAGE HALL COMMON AREAS	
• CIRCULATION	
• BUILDING SUPPORT	
• PARKING GARAGE	



NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



WOLFBERG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

ORDER OF MAGNITUDE CONSTRUCTION COST ESTIMATE

ORDER OF MAGNITUDE CONSTRUCTION COST ESTIMATE

SCHEME 2

Site

Improvements:

* Water & Sewer Modifications	\$35,000
* Signalization Modifications	\$150,000

\$185,000

Building:

\$17,802,080

Floor	Use	Area (SF)				Cost/SF	Subtotal
		Building Interior	Garage	Ext. Covered	Open Terrace		
1	* Fire Rescue Station / Village Hall Common Areas	15,404				\$225	\$3,465,900
	* Exterior Covered			7,022		\$40	\$280,880
	* Parking Garage		1,619			\$75	\$121,425
2	* Parking Garage		22,575			\$75	\$1,693,125
3	* Parking Garage		22,575			\$75	\$1,693,125
4	* Parking Garage		22,575			\$75	\$1,693,125
5	* Police Department / Front Counter / Building Dept.	17,289				\$250	\$4,322,250
6	* Administrative Offices / Commission Offices	13,789				\$250	\$3,447,250
	* Commission Chambers	3,500				\$310	\$1,085,000
		49,982	69,344	7,022	0	\$141	\$17,802,080

Subtotal:

Building Area: 119,326

\$17,987,080

General

Conditions:

* General Conditions	7.0%	\$1,259,096
* Liability Insurance	1.0%	\$192,462
* Builder's Risk - by City	0.0%	\$0
* Profit	7.5%	\$1,457,898
* Payment & Performance Bond	1.00%	\$208,965

\$3,118,421

Subtotal:

\$21,105,501

Contingency/Escalation:

8.00%

\$1,688,440.04

Grand Total:

\$22,793,941

QUALIFICATIONS

- (1) Estimate excludes any sea wall upgrades
- (2) Garage provides for minimum number of spaces needed and not the larger amount required by the current Zoning code.
- (3) Estimate reflects project commencement of construction in 2017.



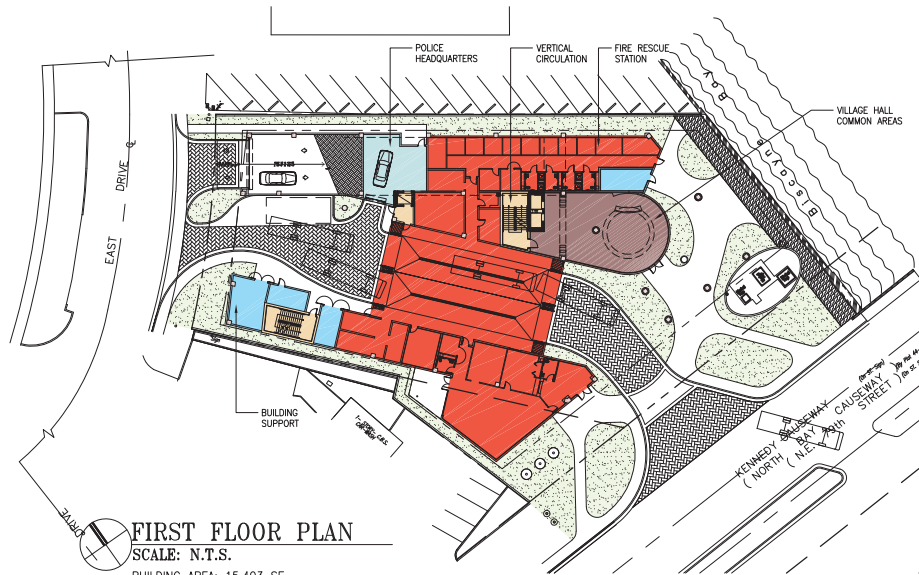
NORTH BAY VILLAGE

CONCEPTUAL
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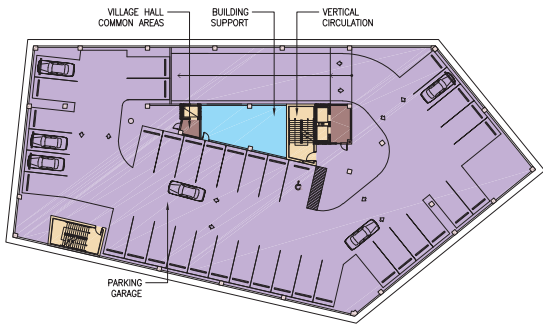
ORDER OF
MAGNITUDE
CONSTRUCTION
COST ESTIMATE



FIRST FLOOR PLAN

SCALE: N.T.S.

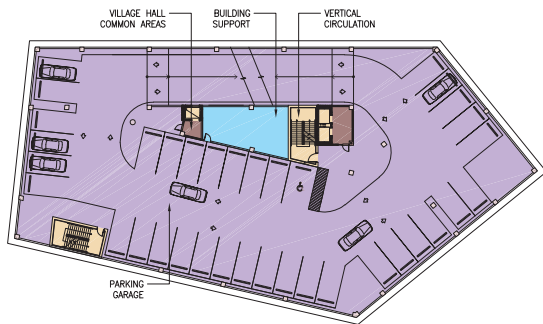
BUILDING AREA: 15,403 SF
GARAGE AREA: 1,619 SF
COVERED AREA: 7,022 SF



FOURTH FLOOR PLAN

SCALE: N.T.S.

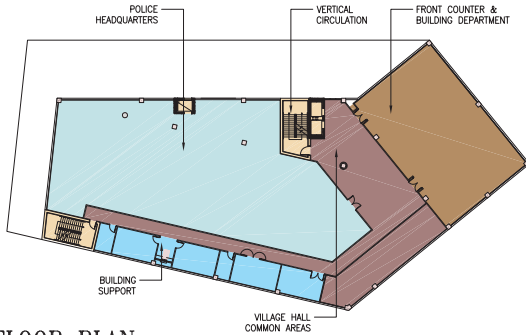
BUILDING AREA: 22,575 SF



SECOND FLOOR PLAN

SCALE: N.T.S.

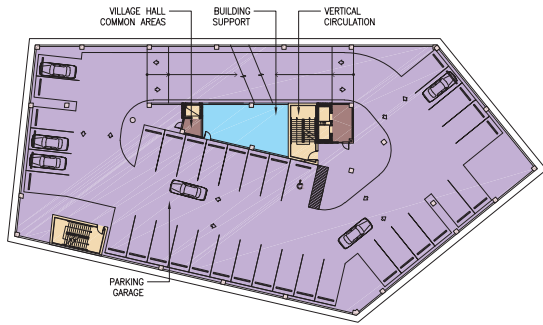
BUILDING AREA: 22,575 SF



FIFTH FLOOR PLAN

SCALE: N.T.S.

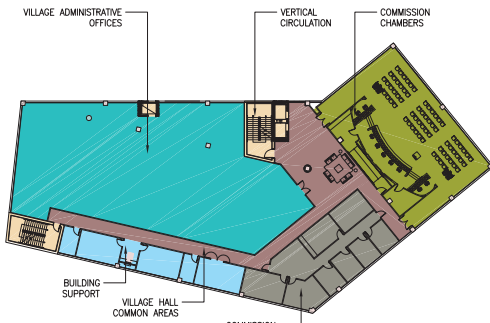
BUILDING AREA: 17,289 SF



THIRD FLOOR PLAN

SCALE: N.T.S.

BUILDING AREA: 22,575 SF



SIXTH FLOOR PLAN

SCALE: N.T.S.

BUILDING AREA: 17,289 SF

SCHEME #2:

PROJECT DATA

- NUMBER OF STORIES: 6
- NUMBER OF PARKING SPACES: 108±
- BUILDING GROSS AREA: 126,348 S.F.
 - BUILDING: 119,326 S.F.
 - EXTERIOR COVERED: 7,022 S.F.

SUMMARY

DESCRIPTION
• FIRE RESCUE STATION
• POLICE HEADQUARTERS & DISPATCH
• COMMISSION CHAMBERS
• COMMISSION OFFICES
• VILLAGE ADMINISTRATIVE OFFICES
• FRONT COUNTER & BUILDING DEPARTMENT
• VILLAGE HALL COMMON AREAS
• CIRCULATION
• BUILDING SUPPORT
• PARKING GARAGE



NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



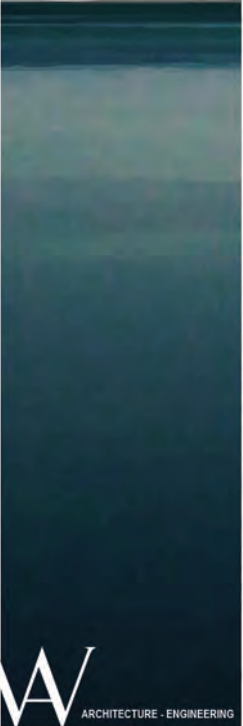
WOLFBURG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

ORDER OF MAGNITUDE CONSTRUCTION COST ESTIMATE



**NORTH
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VILLAGE**

CONCEPTUAL
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FOR
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MUNICIPAL
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WOLFBERG ALVAREZ & PARTNERS
3225 Aviation Ave., Suite 400 Miami, FL 33133

ORDER OF
MAGNITUDE
CONSTRUCTION
COST ESTIMATE

ORDER OF MAGNITUDE CONSTRUCTION COST ESTIMATE

SCHEME 3

Site

Improvements:

* Water & Sewer Modifications	\$35,000
* Signalization Modifications	\$150,000

\$185,000

Building:

\$14,354,830

Floor	Use	Area (SF)				Cost/SF	Subtotal
		Building Interior	Garage	Ext. Covered	Open Terrace		
1	* Fire Rescue Station / Village Hall Common Areas	15,404				\$225	\$3,465,900
	* Exterior Covered			7,022		\$40	\$280,880
	* Parking Garage		1,619			\$75	\$121,425
2	* Parking Garage		22,575			\$75	\$1,693,125
3	* Parking Garage		22,575			\$75	\$1,693,125
4	* Parking Garage		22,575			\$75	\$1,693,125
5	* Police Department / Commission Offices	17,289				\$250	\$4,322,250
	* Commission Chambers	3,500				\$310	\$1,085,000
		36,193	69,344	7,022	0	\$128	\$14,354,830

Subtotal:

Building Area: 105,537

\$14,539,830

General

Conditions:

* General Conditions	7.0%	\$1,017,788
* Liability Insurance	1.0%	\$155,576
* Builder's Risk - by City	0.0%	\$0
* Profit	7.5%	\$1,178,490
* Payment & Performance Bond	1.00%	\$168,917

\$2,520,771

Subtotal:

\$17,060,601

Contingency/Escalation:

8.00%

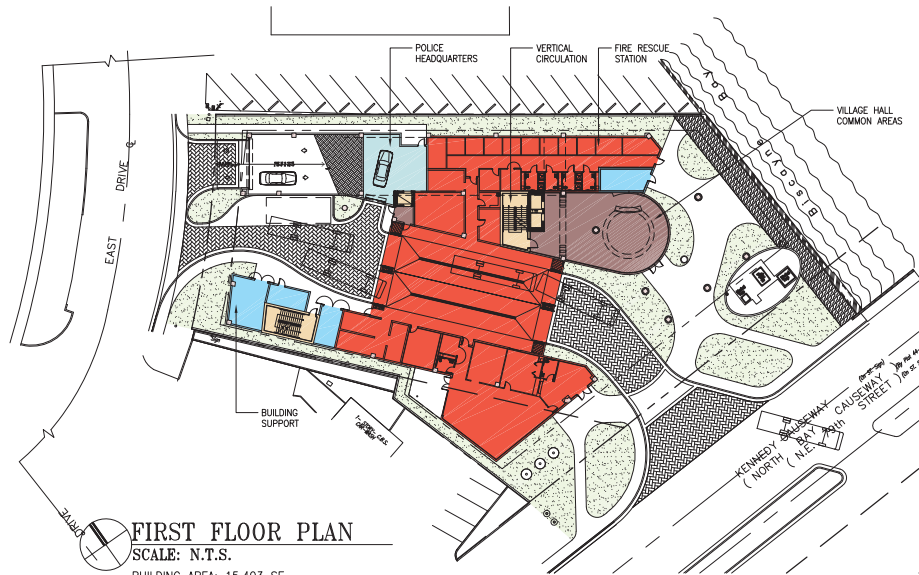
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Grand Total:

\$18,425,449

QUALIFICATIONS

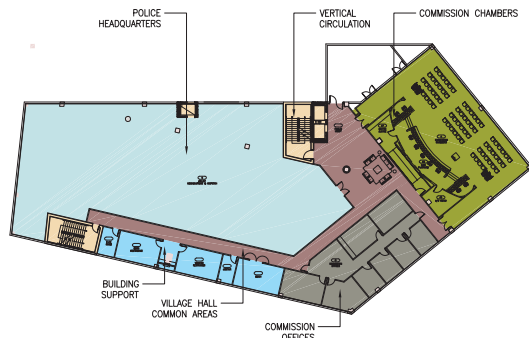
- (1) Estimate excludes any sea wall upgrades
- (2) Garage provides for minimum number of spaces needed and not the larger amount required by the current Zoning code.
- (3) Estimate reflects project commencement of construction in 2017.



FIRST FLOOR PLAN

SCALE: N.T.S.

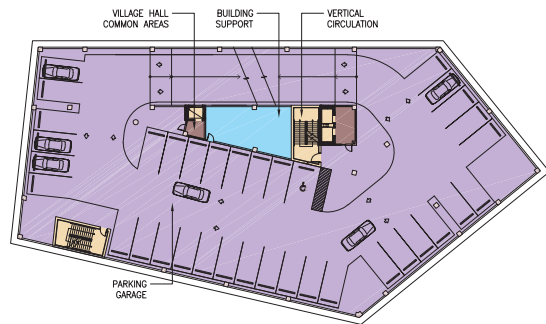
BUILDING AREA: 15,403 SF
GARAGE AREA: 1,619 SF
COVERED AREA: 7,022 SF



FIFTH FLOOR PLAN

SCALE: N.T.S.

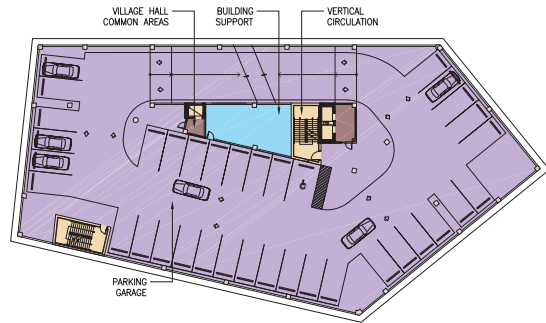
BUILDING AREA: 18,351 SF



SECOND FLOOR PLAN

SCALE: N.T.S.

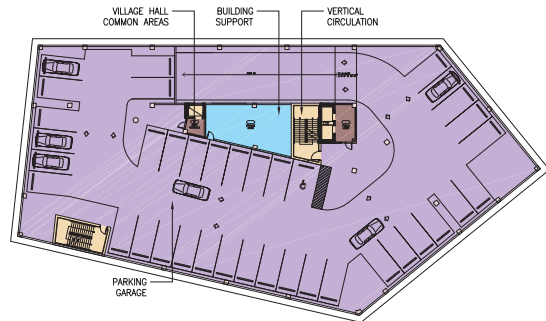
BUILDING AREA: 22,575 SF



THIRD FLOOR PLAN

SCALE: N.T.S.

BUILDING AREA: 22,575 SF



FOURTH FLOOR PLAN

SCALE: N.T.S.

BUILDING AREA: 22,575 SF

SCHEME #3:

PROJECT DATA

- NUMBER OF STORIES: 5
- NUMBER OF PARKING SPACES: 108±
- BUILDING GROSS AREA: 112,559 S.F.
 - BUILDING: 105,537 S.F.
 - BUILDING COVERED: 7,022 S.F.

SUMMARY

DESCRIPTION
<ul style="list-style-type: none">FIRE RESCUE STATION
<ul style="list-style-type: none">POLICE HEADQUARTERS & DISPATCH
<ul style="list-style-type: none">COMMISSION CHAMBERS
<ul style="list-style-type: none">COMMISSION OFFICES
<ul style="list-style-type: none">VILLAGE HALL COMMON AREAS
<ul style="list-style-type: none">CIRCULATION
<ul style="list-style-type: none">BUILDING SUPPORT
<ul style="list-style-type: none">PARKING GARAGE



NORTH BAY VILLAGE

CONCEPTUAL DESIGN ANALYSIS REPORT FOR NEW MUNICIPAL COMPLEX



WOLFBURG ALVAREZ & PARTNERS
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ORDER OF MAGNITUDE CONSTRUCTION COST ESTIMATE