

# NBV100 NORTH BAY ISLAND Zoning Code Considerations



## WHAT IS THE NBV100 MASTER PLAN?

The NBV100 Master Plan is equipping North Bay Village with the tools to become a more livable, resilient, and prosperous community that can adapt to the challenges of a changing climate.

For several months, the Village has been collecting input from residents and elected officials about potential areas of change in the zoning for North Bay Island. This is an ongoing process that has been supplemented with research on best practices in other coastal communities, including outreach to design professionals and planners.

## HOW CAN I GET INVOLVED WITH THE PLAN FOR NORTH BAY ISLAND?

North Bay Island residents are encouraged to be part of the ongoing public engagement process with the Village. Join us for our upcoming **North Bay Island Resident Town Hall** on **May 10, 2021**, at **6:30 pm at 7903 East Drive** or **virtually** via **Facebook Live** or **Zoom**.

### In-Person Address

**7903 East Drive, North Bay Village**

**Wear a Mask!**

### Zoom Details

**Meeting ID:** 893 7916 9021

**Passcode:** 340346

## WHAT IS NOT BEING CHANGED

To avoid misinformation, the Village would like to address zoning regulations that are **NOT** being changed.

- We are **NOT** allowing townhouses, duplexes, or multifamily structures, or Accessory Dwelling Units (ADUs) to be constructed in North Bay Island.
- We are **NOT** changing the current North Bay Island density of 6 DPU with a 7,000 sq. ft. lot size minimum.
- We are **NOT** encroaching houses closer to the street.
- We are **NOT** reducing the current green space (instead, we are increasing the green space)
- We are **NOT** mandating new or remodeled homes to have an understory.

## CURRENT RECOMMENDATIONS

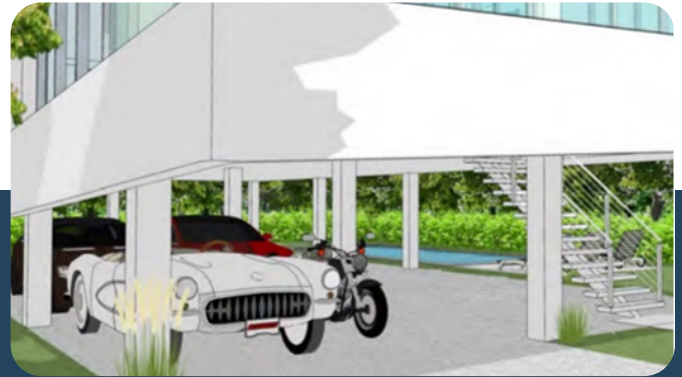
Below, please view some of the **PRELIMINARY** recommendations following ongoing discussions with the Village Planner, Village Commission, and Village residents. View the full recommendations by visiting <https://northbayvillage-fl.gov/nbv-100/>



### LOT COVERAGE

- Reduce maximum lot coverage, introduce green space standards, and provide credit for the use of permeable surfaces.

**Why?** To improve stormwater management, reduce the risk of flooding, and beautify the neighborhood.



### RAISED STRUCTURES

- To incorporate new development standards to clearly regulate the use, square footage, and design of optional (NOT mandatory) understory spaces created by raising structures.

**Why?** To reduce the risk of flood damage.

### SETBACKS

- Increase specific setbacks for structures that are more than one story.

**Why?** To preserve privacy for property owners and their neighbors.

### BUILDING HEIGHTS

- Amend the standard to incentivize resilient new construction.

**Why?** To account for sea-level rise and make homes more resilient.

### ACCESSORY ROOFTOP USES AND STRUCTURES

- Introduce language detailing what types of uses and structures are allowed.

**Why?** To clarify what is permitted and to increase property values for the benefit of the property owner and the neighborhood, while preserving privacy for neighbors and property owners.