

Draft Zoning Recommendations for

North Bay Island

April 13, 2021



Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS™

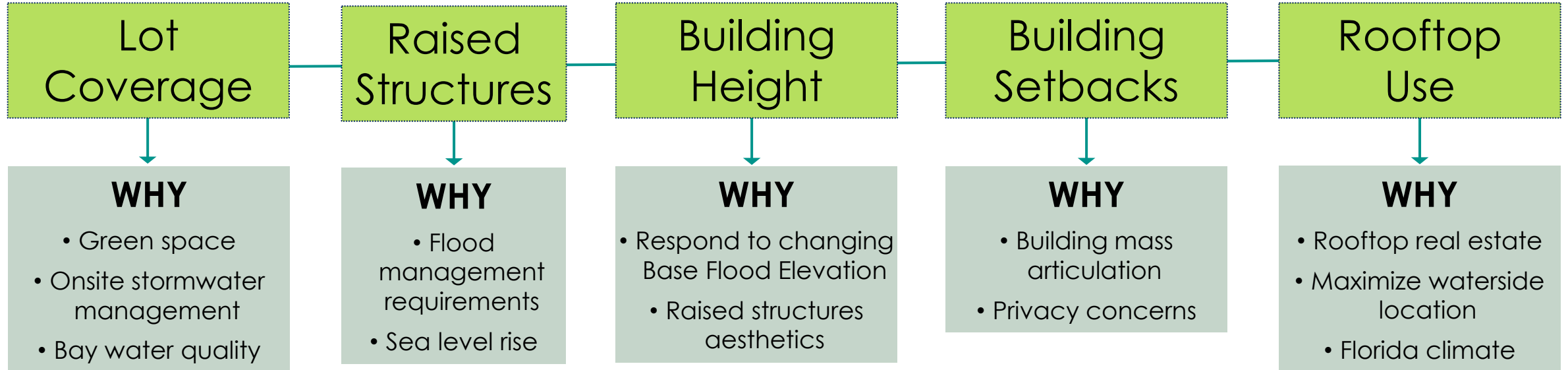
What

- Amendments to the Unified Development Code pertaining to North Bay Island zoning

Why

- NBV100 Master Plan implementation:
 - Livability
 - Resilience
 - Prosperity

Key Topics Addressed (Site Development Standards)



IMPLEMENTATION OF MASTER PLAN GOALS FOR NORTH BAY ISLAND:
Improve quality of life
Preserve and enhance private property values

NBV100 Master Plan

Research of Best Practices Among the Region's Coastal Communities

- Aventura
- Bal Harbor
- Sunny Isles Beach
- Surfside
- Bay Harbour Islands
- North Miami Beach
- Key Biscayne *
- Indian Creek
- Miami Beach *
- Hallandale
- Key West *
- Lee County (Sanibel, Captiva)

What is not happening



NO replacement
of RS-1 with
Transect Zones



NO changes in
types of permitted
uses (i.e., NO
townhouses,
duplexes or
multifamily
structures, nor
accessory dwelling
units (ADUs))



NO changes to the
nature of the
neighborhood as
single-family
residential area

RS-1 District Purpose Statement - UNCHANGED

(Sec. 8.10 of ULDC): RS-1 Low
Density
Single-Family Residential

*The purpose of this District is to provide for **low-density single-family residential development** in a spacious setting, together with other principal uses as may be approved as use exceptions...*



NO changes in density (6 dwellings per acre maximum)

NO changes to lot sizes (7,000 sq. ft. lot minimum)

NOT encroaching houses closer to the street

NOT reducing current green space (quite the opposite!)

NOT mandating new or remodeled homes to have an understory

Primary Code Section Involved:

- Sec. 8.10.A. (RS-1 Zoning District)

Ancillary Connected Sections :

- Chapter 3 (Definitions)

- Sec. 8.16 (Accessory Uses & Structures)

- Sec. 8.17 (Height exceptions)

- Sec. 9.21 (Exterior lighting)

- Chapter 10 (Flood Management)

Scope of Code Amendments

Preface

- All proposals are DRAFT and will undergo further scrutiny and finessing
- All regulations reflect minimum required or maximum allowed
- Simplest approach whenever possible
- Endeavor to balance property rights of individual landowners (both current and future) with those of their individual neighbors as well as the collectivity of NBI

Lot Coverage Today



Current Code

Sec. 8.10: No maximum lot coverage or minimum pervious standards.

Sampling of Lot Coverage Not Including Driveways, Walkways, Swimming Pools, Decks, etc.

Lot Area	House Sq. Ft.	Stories	House Sq. Ft./Lot Area
9,000	2,949	1	33%
8,000	2,719	1	34%
7,700	3,630	2	47%
7,700	1,783	1	23%
18,400	4,898	2	27%
9,200	5,677	2	62%
10,320	8,214	2	80%
6,020	2,862	2	48%

Lot Coverage - Draft

Section 8.10.A.5. (Development Standards)

1. Maximum lot coverage = 55% of the total area of the lot
2. Green space = minimum of 20% of the total lot area, including at least 40% of the space in the front yard area. The area of landscape strips in driveways or walkways shall count toward the 40% requirement.

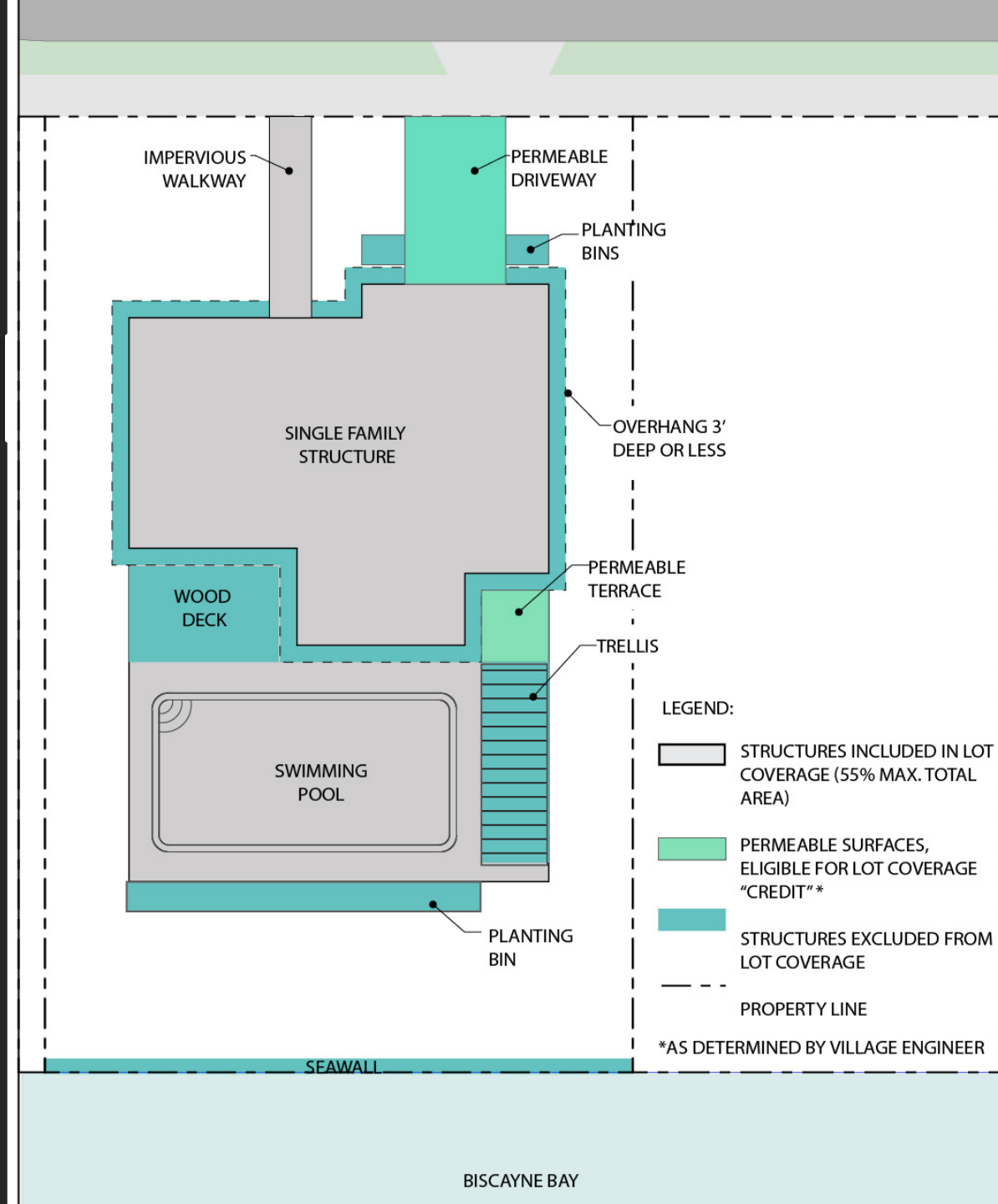
Calculation Factors

Included in the 55% maximum:

- All buildings, measured from exterior wall to exterior wall
- Impervious or covered parking areas, driveways, walkways, patios, and terraces.
- Swimming pools

Excluded from the 55% maximum:

- Seawalls, retaining walls and docks
- Planting bins
- Wood decks
- Open trellises and pergolas
- 3' max roof overhangs and awnings
- Interior balconies



Adjustment for Use of Permeable Materials

- You may get an adjustment in the calculation of maximum lot coverage for uncovered parking areas, driveways, walkways, patios and terraces built with permeable materials, based on the permeable square footage of the structure or surface, the permeability of the material, and the percent infiltration of annual rainfall, as determined by the [Village Engineer].



Additional Considerations

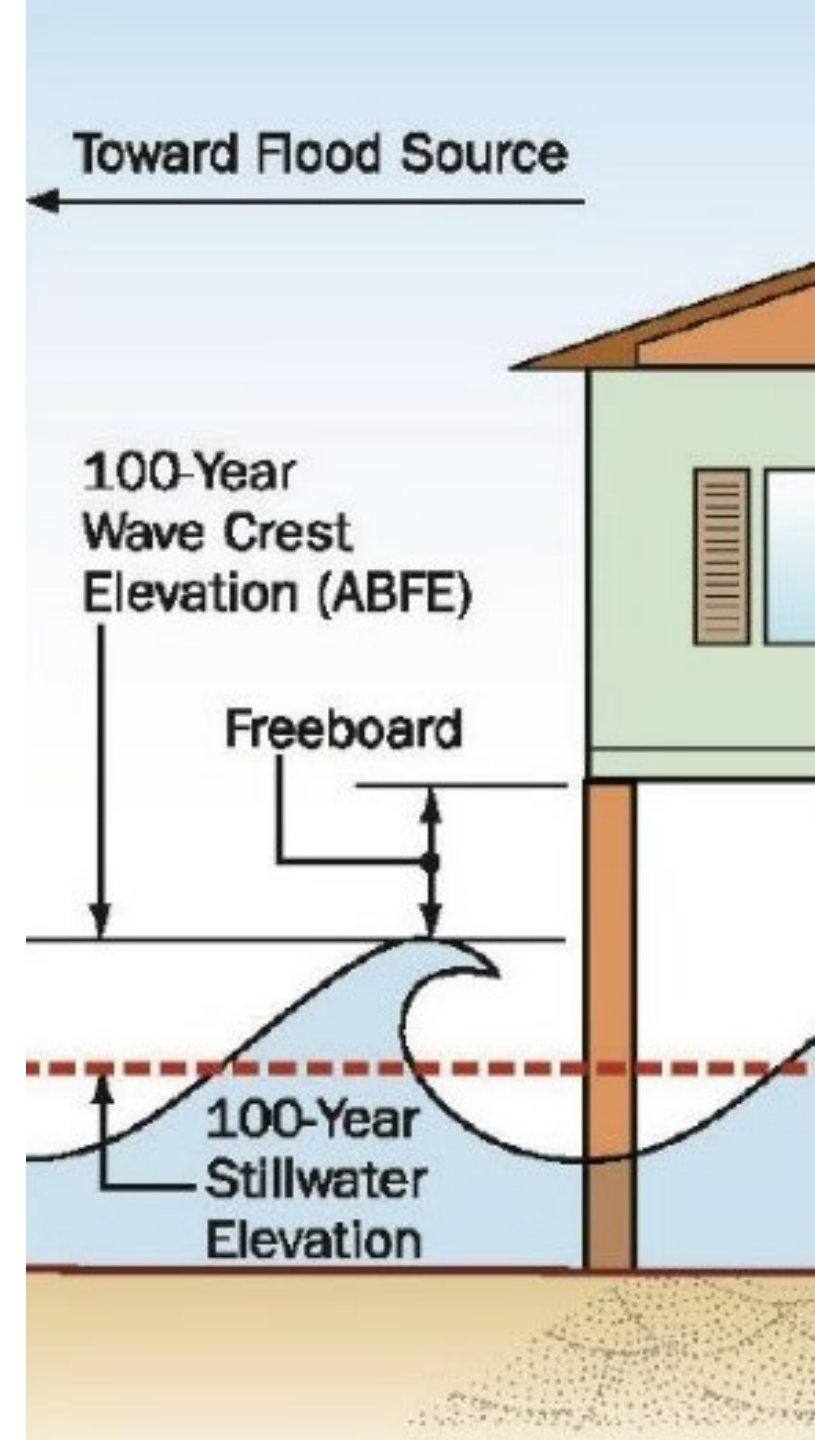
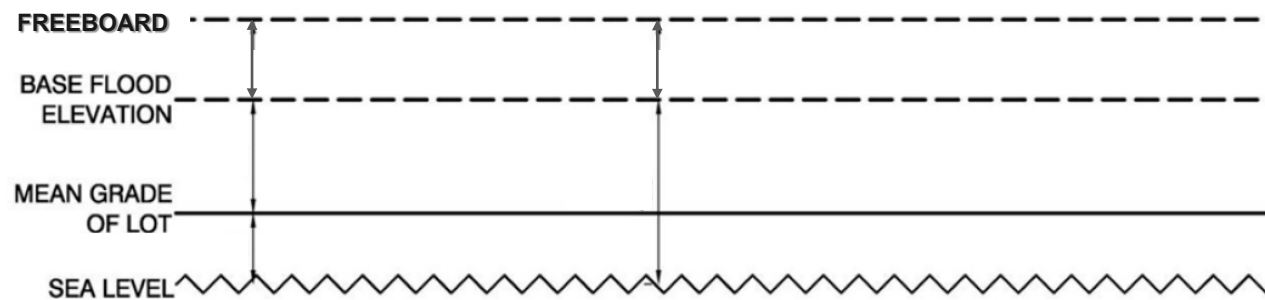
- Push use of permeable surface materials in understory of raised structures
- Future coordination with Stormwater Master Plan
- Cross-reference with new Green Building Program:
 - Points available for use of permeable surface for parking and drives:
 - 4 points for at least 50% of total surface
 - 2 points for at least 25% of total surface
 - Points for green infrastructure: cisterns, rain gardens, bioswales, etc.
- Exclude green roofs from lot coverage calculations



Flood Damage Protection

RESIDENTIAL STRUCTURES HAVE TO MEET FLOOD DAMAGE PROTECTION REQUIREMENTS OF CHAPTER 10

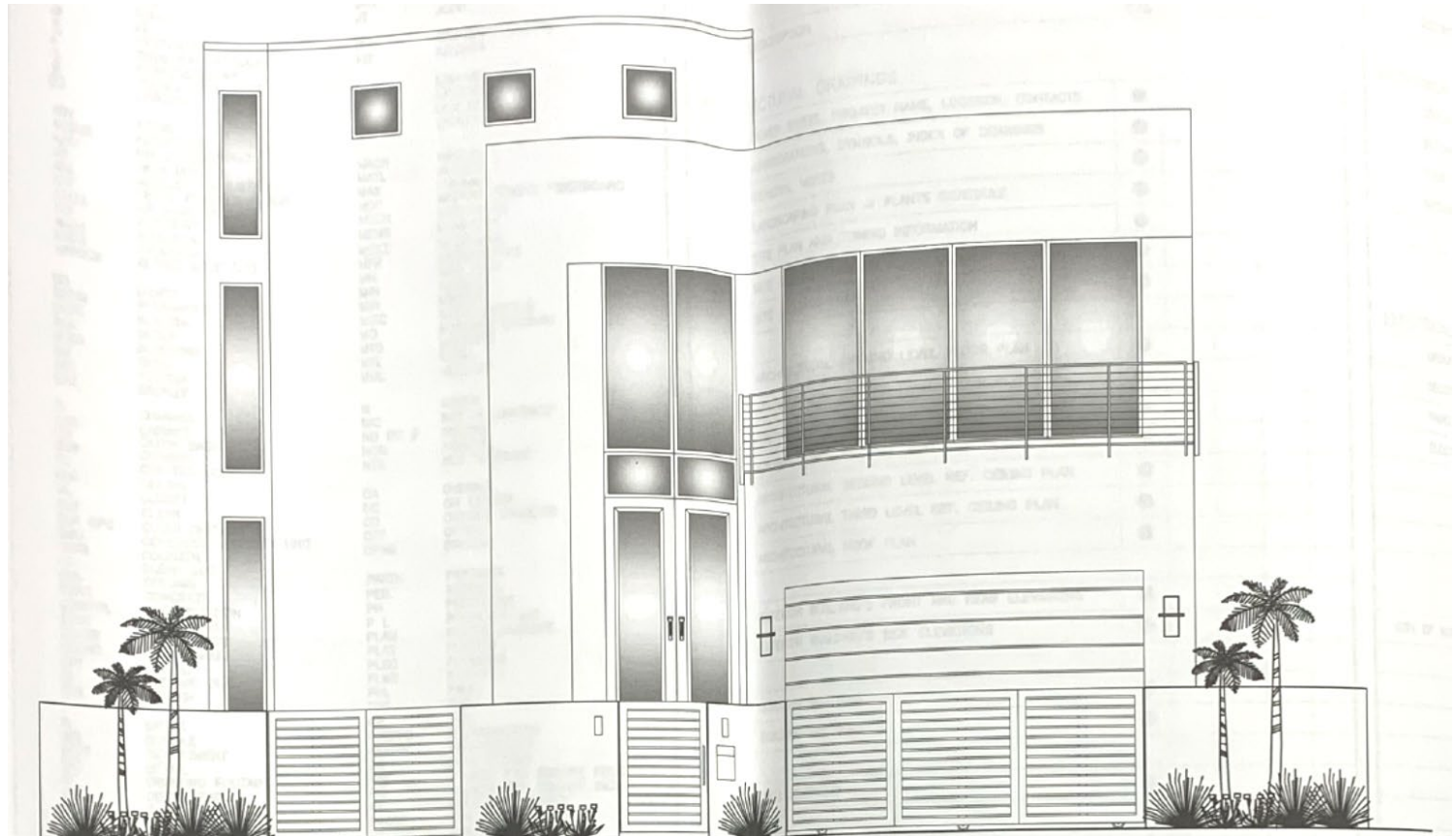
○ Terms to remember



Flood-Resilient Homes

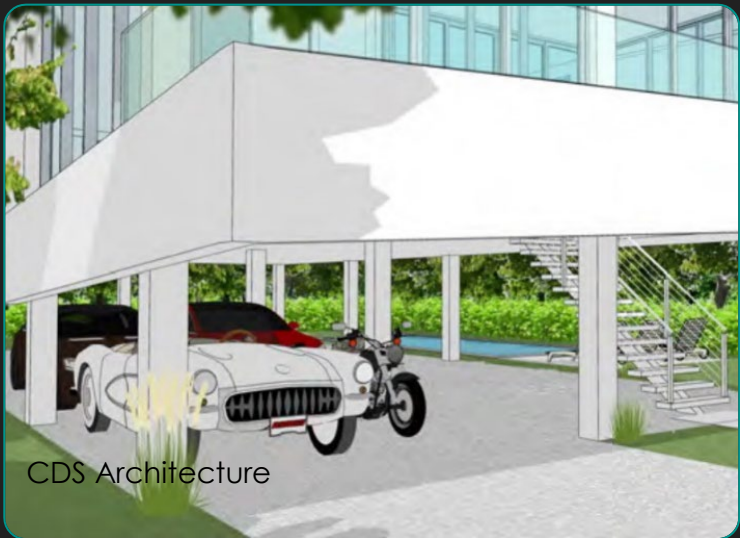
FLOOD RESILIENCY HELPS BRING
COST SAVINGS IN HOME INSURANCE

THE GREATER THE RESILIENCE BUILT
INTO THE HOME, THE GREATER THE
SAVINGS



Modis Architects

Standards for Optional Raised Structures



Draft

- Understory Definition: Move from Chapter 15 to Chapter 3

Subsection 8.10.A.5.

f. The clearance of an understory created by elevating a single-family residential building... shall not exceed ten (10) feet, measured from grade to the underside of the first-floor slab. Accessory uses allowed in the understory space shall be limited to the following:

- i. Unenclosed parking.
- ii. Vestibule to the living area by means of a stairway or elevator, not to exceed 100 square feet in area.
- iii. Enclosed garage or storage space for maintenance equipment not to exceed 500 square feet, provided that the walls are designed so as not to impede the flow of water and the space is unfinished and unpartitioned.

Additional Considerations

Push use of permeable materials in understory area (See Lot Coverage)

Finishes, screening, mechanical systems and lighting

Cross-referencing with new Green Building Program:

2-4 points for permeable surface of parking and driveways

2 points for each Low-Impact Development feature and technique (use of cisterns, filtration media, etc.)

Building Height

Current Approach: Static

Ground-based measure from grade
(defined as highest elevation of street
in front of property)

Proposed Approach: Dynamic and Resilience- Focused

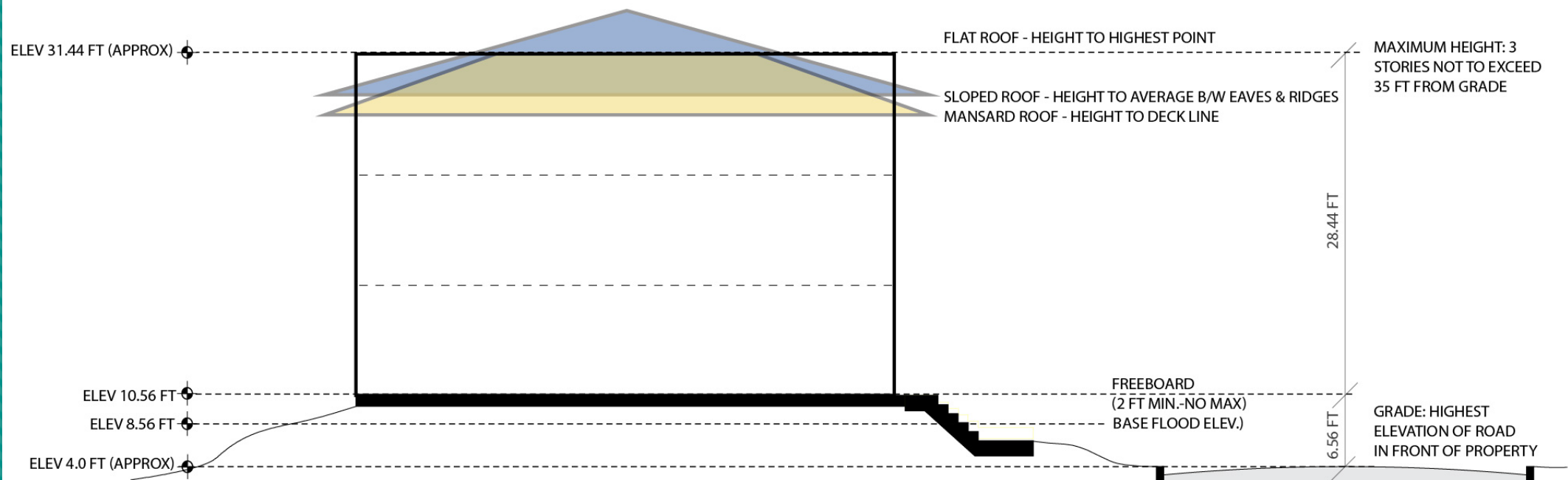
Measured from base flood elevation
(BFE), plus freeboard

Building Height Today

Current Code

- Sec. 8.10.A.5., Maximum building height: Three stories not to exceed 35 feet above grade.
- Chapter 3: *Height of building*. The vertical distance from grade to the highest point of a flat roof; the deck line of a mansard roof; the average height between eaves and ridge of gable, hip, and gambrel roofs; or the average height between high and low points of a shed roof.

STRUCTURES HAVE TO MEET FLOOD MANAGEMENT REQUIREMENTS OF CHAPTER 10

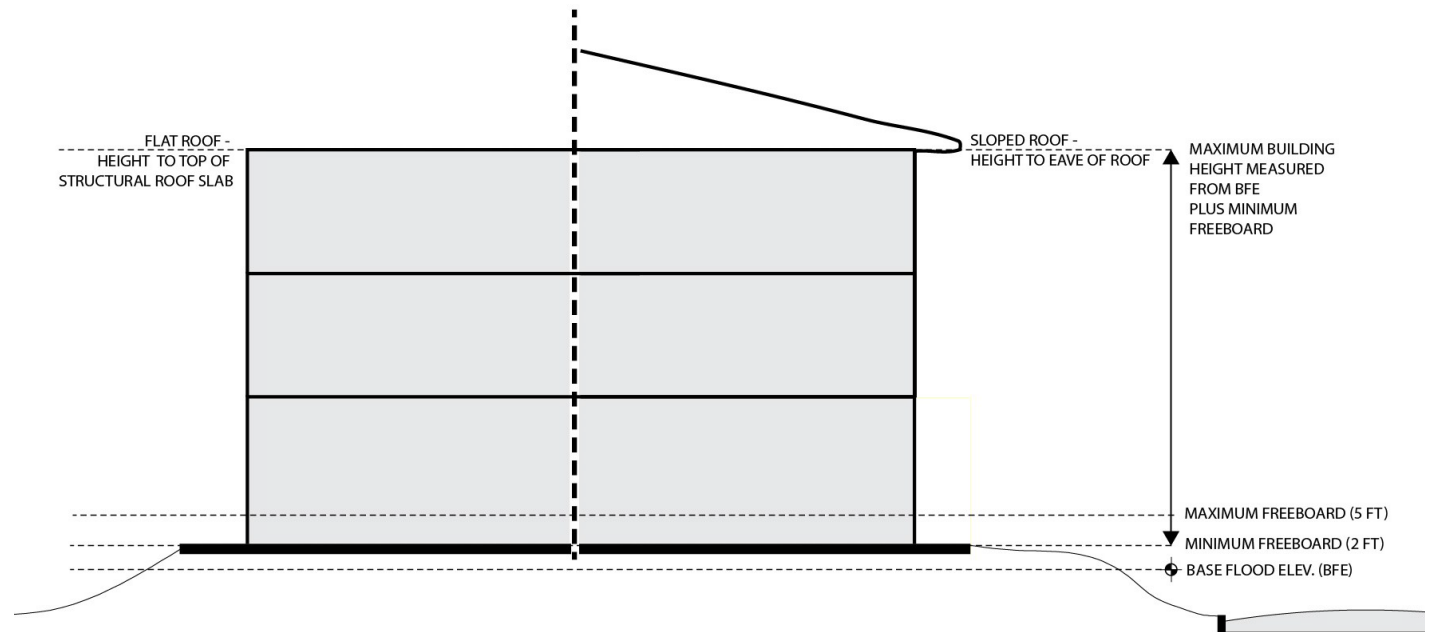


Building Height Definition - Draft

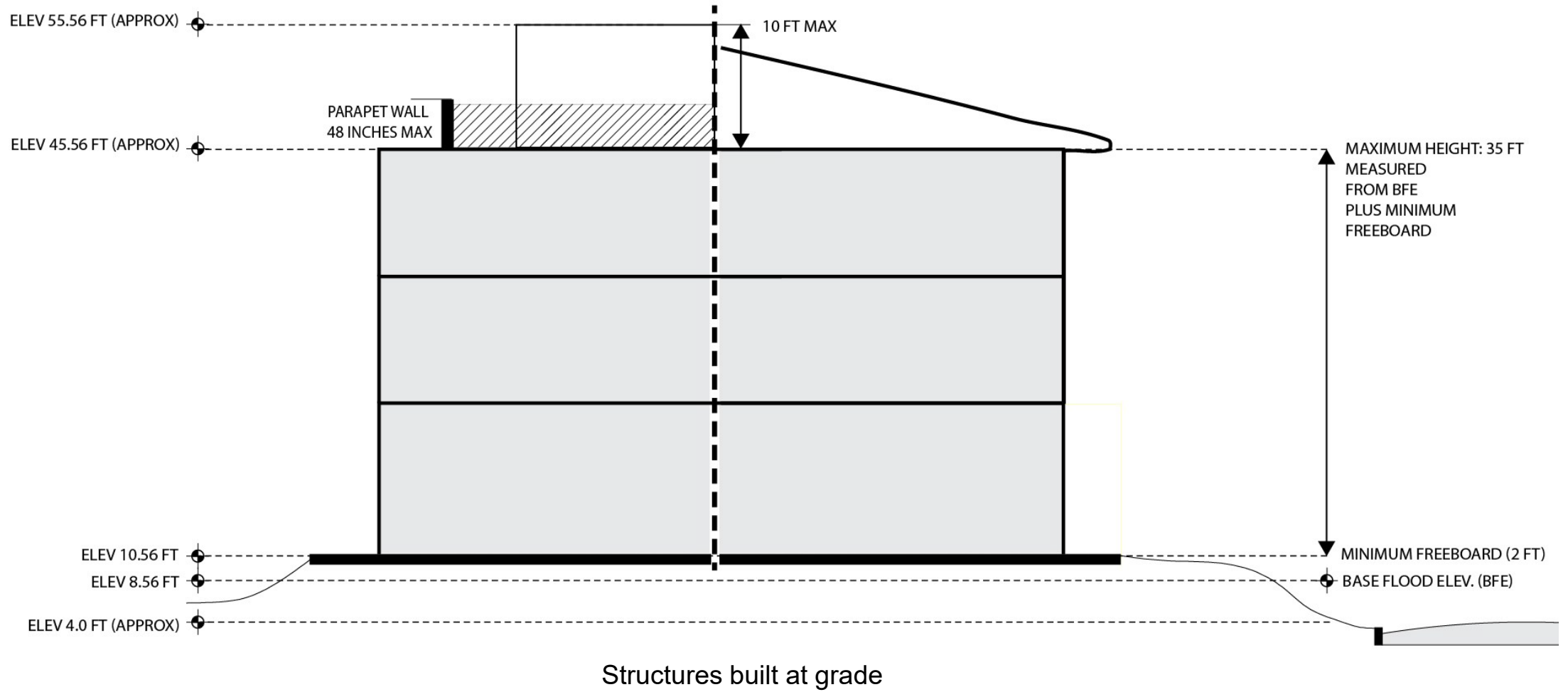
Building Height Maximum - Draft

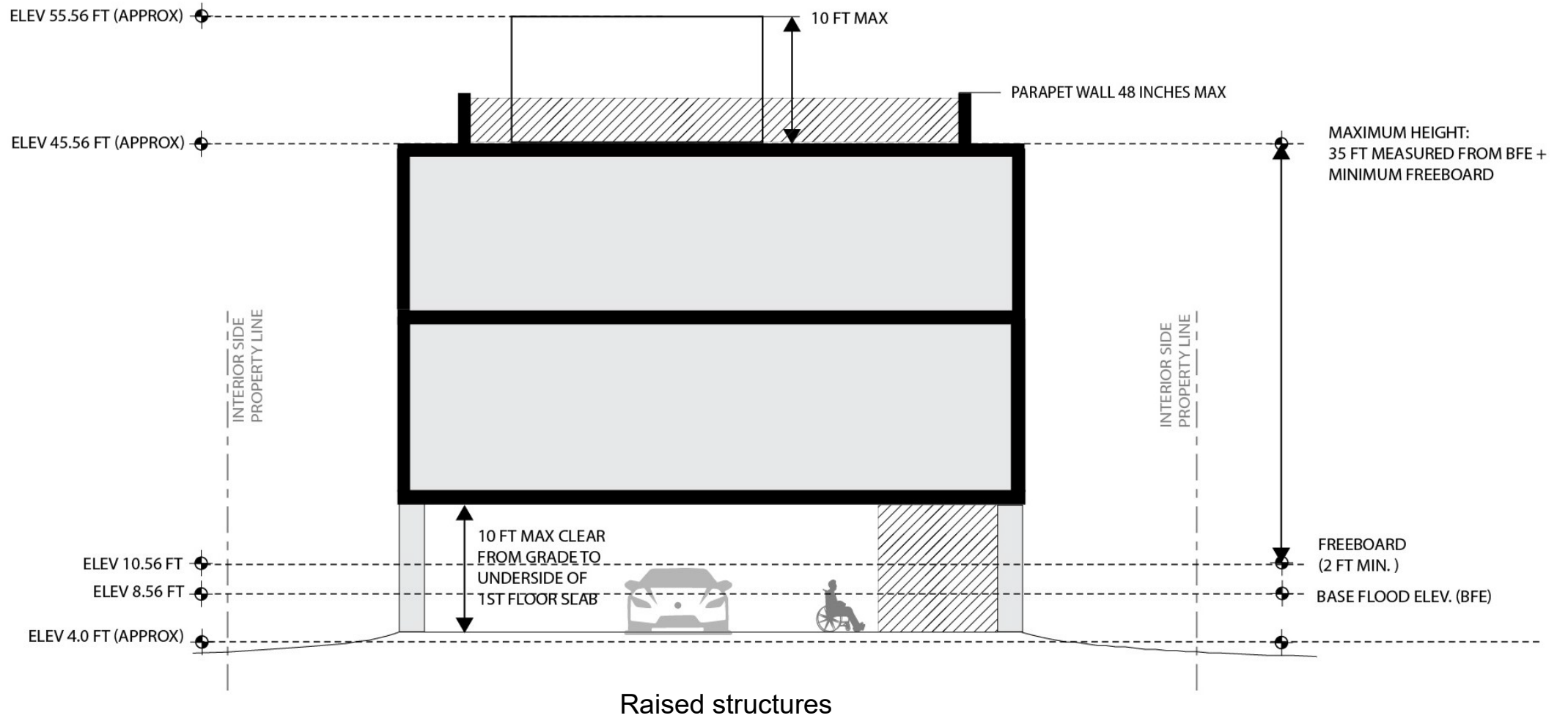
Acknowledge the necessity to adapt and change the baseline to be consistent with Chapter 10 requirements:

- Chapter 3, Definitions. Height of building. The height of a building shall be measured from the required Base Flood Elevation (BFE) for the lot, plus freeboard, measured to the top of the structural slab for a flat roof and to the eaves of a sloped roof. Exceptions to the height limit are described in Subsection 8.17.G.



- Three stories not to exceed 35 feet in height above ~~grade~~ Base Flood Elevation (BFE) plus minimum freeboard. In cases where structures are elevated pursuant to Subsection 10.5.B., the ground level shall be designed in accordance with the requirements of Subsection 8.10.A.5.f.





Additional Considerations

- Exceptions to building height (Section 8.17)
 - Parapet walls
 - Elevator and staircase bulkheads providing rooftop access and connected enclosures
 - Rooftop amenities (terrace decks, trellises, pergolas) and optional additional enclosed area



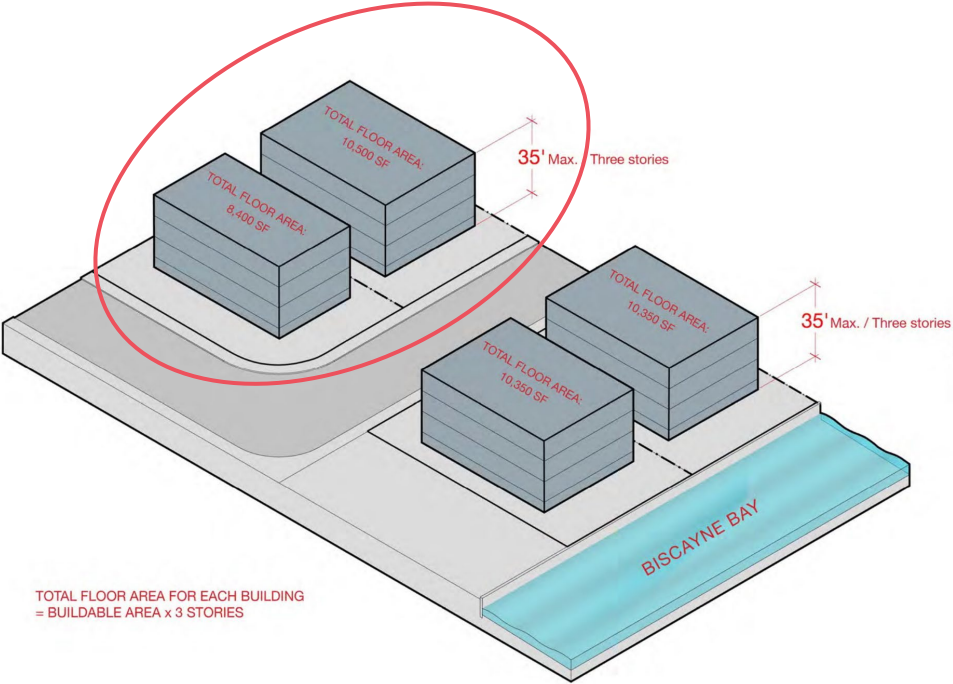
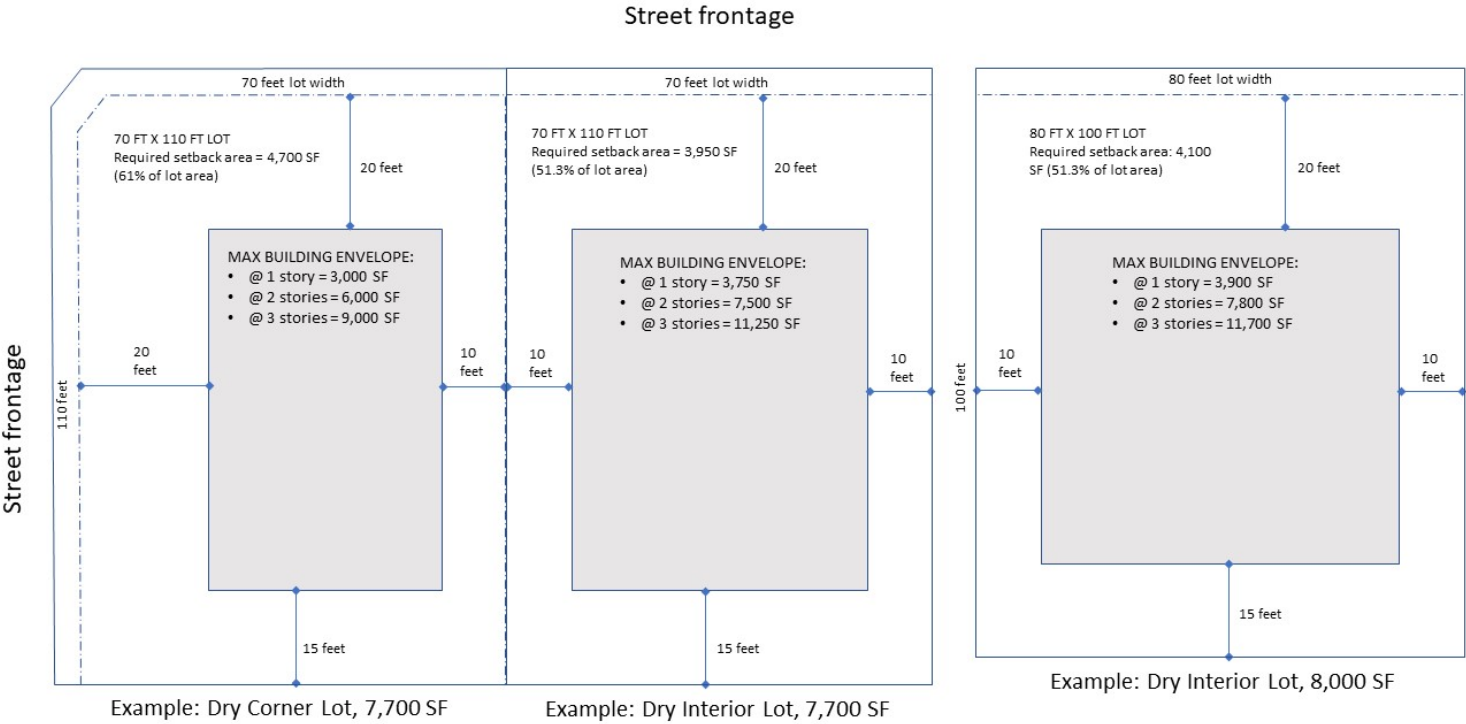
Setbacks Today

Subsection 8.10.A.5. (Development Standards)

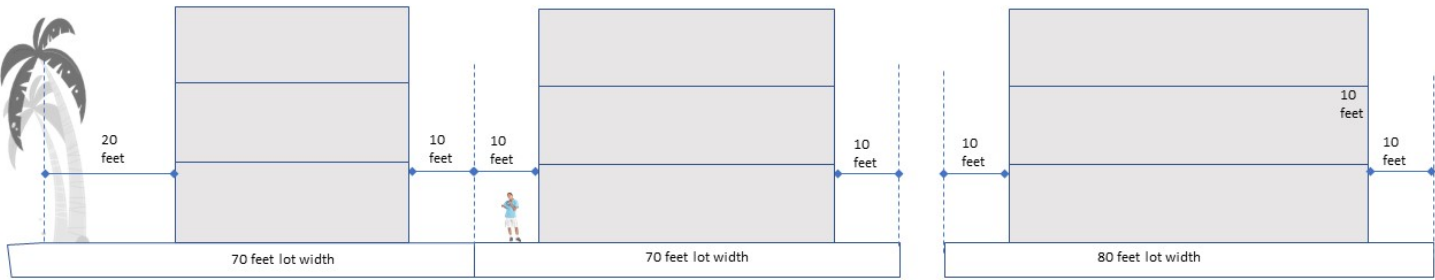
Setback	Distance (Feet)
Front	20
Side (corner)	20
Side (interior)	10
Rear	15
Waterfront	25

Applicable except for Lots 1 through 7 of Block 1 and 1 through 4 of Block 2, respectively, of the subdivision known as North Bay Island, which shall have a minimum waterfront setback of 20 feet.





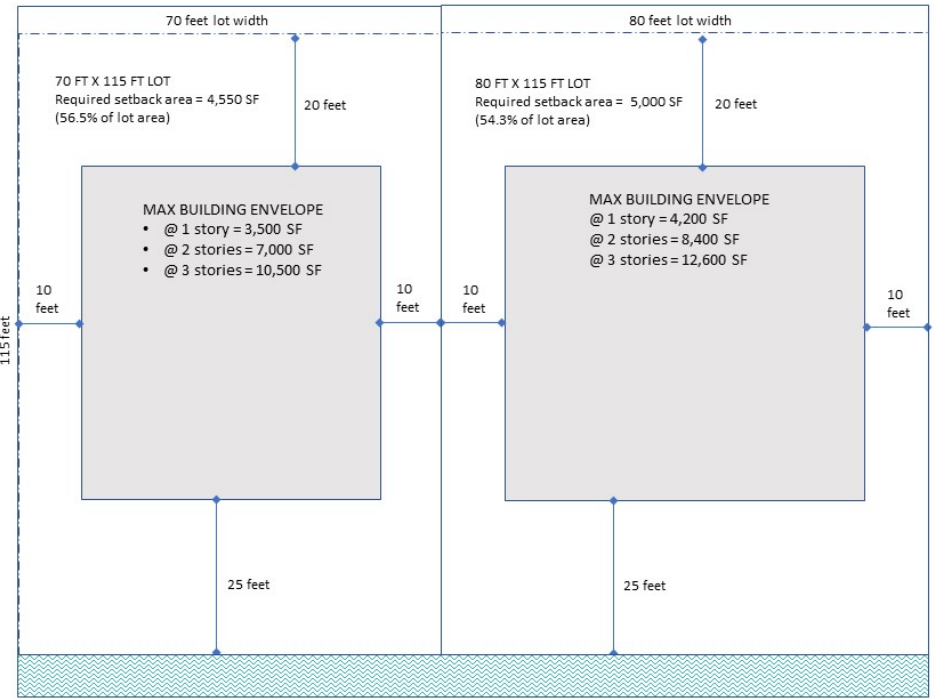
↑ **PLAN VIEW AND**
ELEVATION DIAGRAMS (3-STORY MASSING) ↓



Max Building Envelope Under Current Code (Dry Lots)

GENERIC ILLUSTRATIONS OF MAX SF WITH CURRENT REGULATIONS, UP TO 3 STORIES (WATERFRONT LOTS)

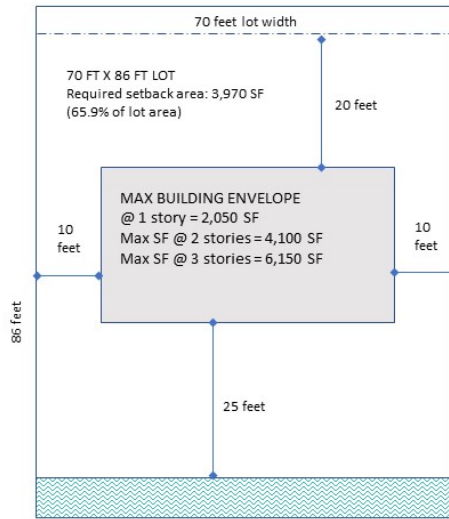
Street frontage



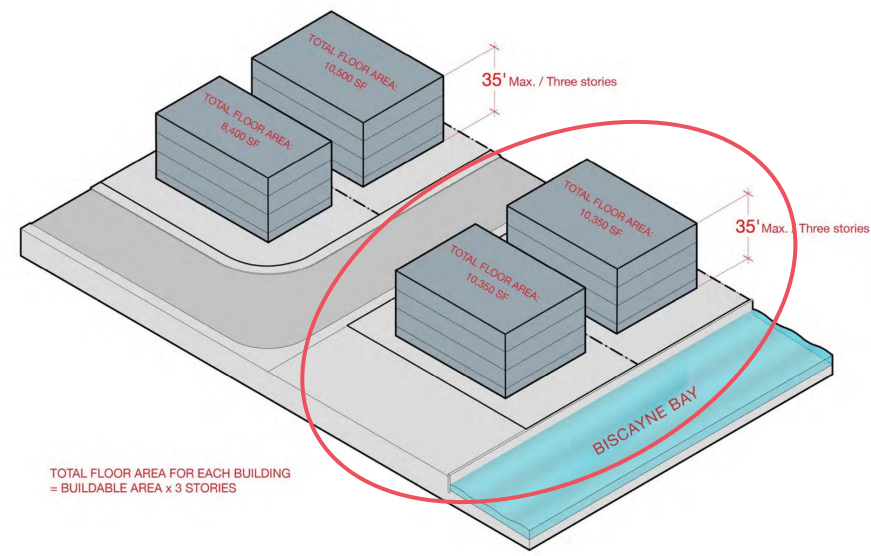
Example 1: Waterfront Lot, 8,050 SF

Example 2 : Waterfront Lot, 9,200 SF

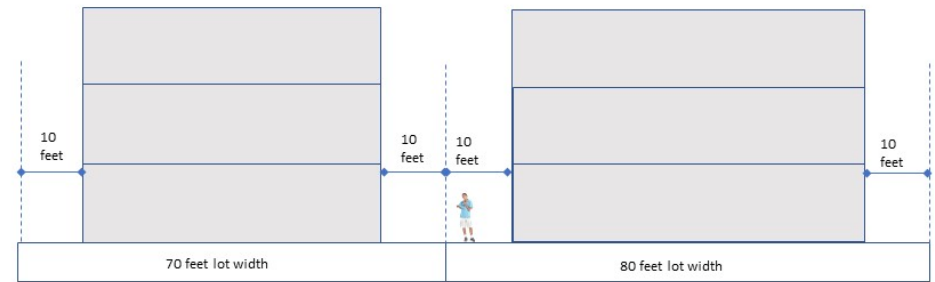
Street frontage



Example 3: Waterfront Lot, 6,020 SF



PLAN VIEW AND
ELEVATION DIAGRAMS (3-STORY MASSING)



Max Building Envelope
Under Current Code
(Waterfront Lots)

Setbacks - Draft

Adjust setbacks to moderate visual perception of building height for structures above 1 story, and alleviate privacy concerns

Subsection 8.10.A.5. (Development Standards)

Minimum Yard Setbacks:

Front – 20'

- a) 1-story structures may be located at the minimum setback line.
- b) 2- and 3-story structures shall be set back an additional five (5) feet from the minimum setback line.

Side (Interior) – 10'

- a) 1-story structures may be located at the minimum setback line.
- b) 2- and 3-story structures shall be set back an additional five (5) feet from the minimum setback line.

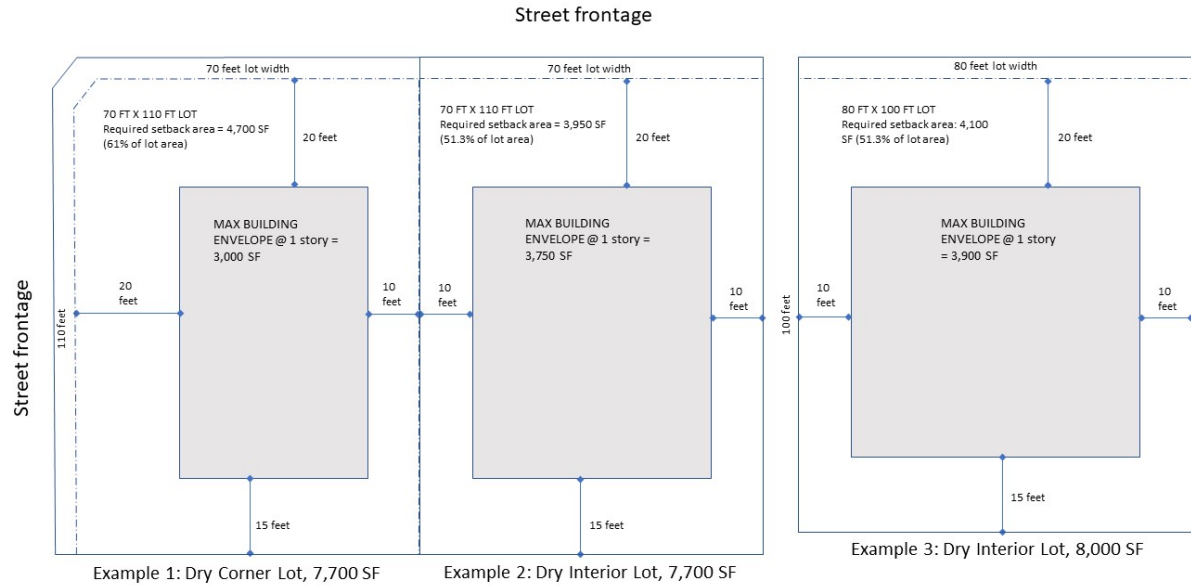
Side (Corner) – 20'

Rear – 15'

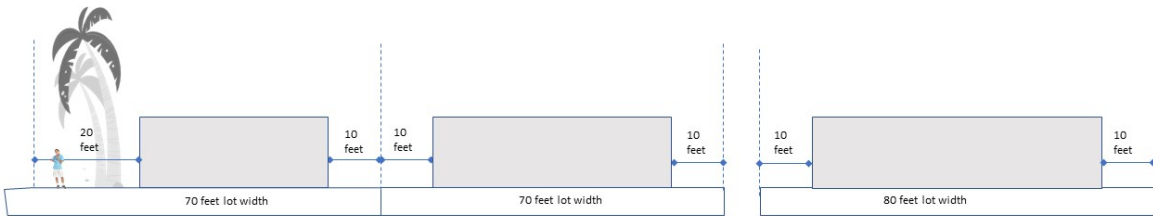
Waterfront – ~~25~~ 20'



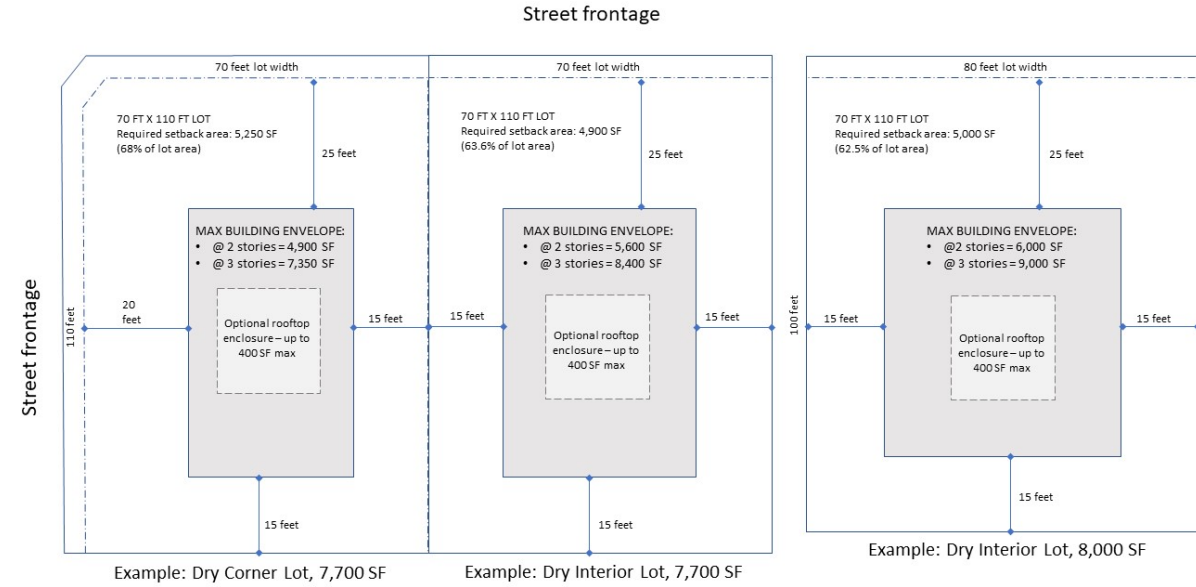
GENERIC ILLUSTRATIONS OF **MAX SF** WITH PROPOSED REGULATIONS (DRY LOTS):
FOR A 1-STORY HOME – **SETBACKS UNCHANGED**



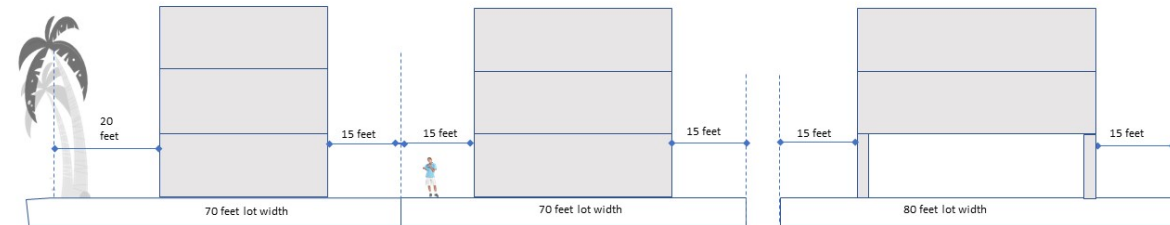
↑ PLAN VIEW AND
ELEVATION DIAGRAMS (1-STORY MAX MASSING) ↓



GENERIC ILLUSTRATIONS OF **MAX SF** WITH PROPOSED REGULATIONS (DRY LOTS):
FOR 2- OR 3-STORY HOMES – **FRONT AND SIDE SETBACKS MODIFIED**



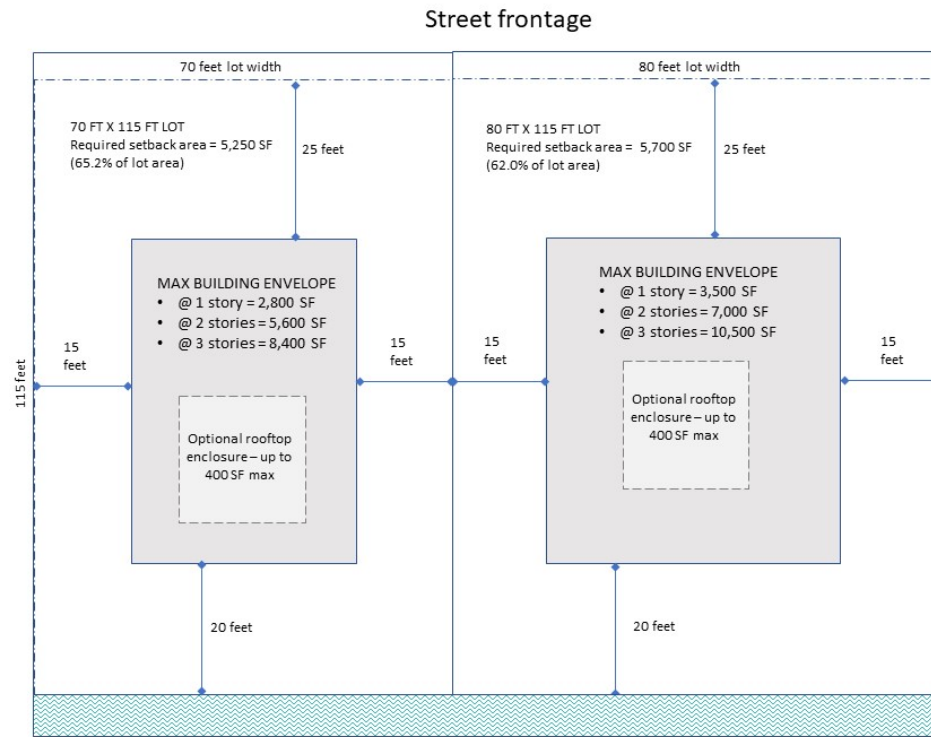
↑ PLAN AND
ELEVATION DIAGRAMS (2- AND 3-STORY MAX MASSING) ↓



Max Building Envelope Under Draft Proposal

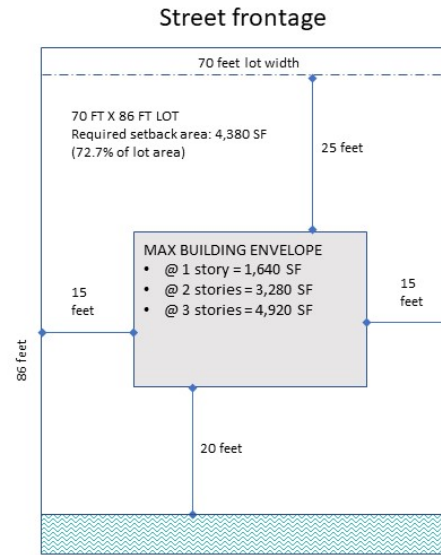
GENERIC ILLUSTRATIONS OF **MAX SF** WITH PROPOSED REGULATIONS (WATERFRONT LOTS):
FOR 2- OR 3-STORY HOMES – **SETBACKS MODIFIED**

Max Building Envelope Under Draft Proposal



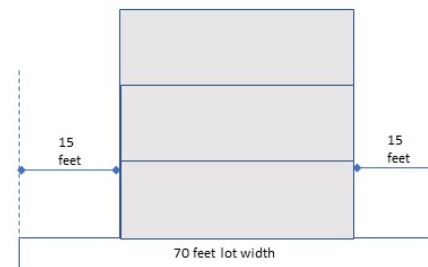
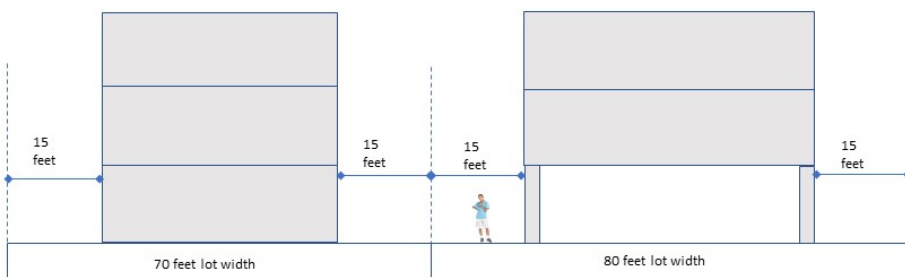
Example 1: Waterfront Lot, 8,050 SF

Example 2: Waterfront Lot, 9,200 SF



Example 3: Waterfront Lot, 6,020 SF

↑ PLAN VIEW AND
ELEVATION DIAGRAMS (3-STORY MASSING) ↓



Enhanced Rooftop Access (Optional) - Draft

Capitalize on unique Village setting, expand rooftop real estate and increase property values, especially for interior lots.

Section 8.16. – Accessory Uses and Structures

- (5) Rooftop decks and terraces with a surface area of up to 25% of the enclosed floor area immediately one floor below and set back at least (10) feet from each side of the exterior outer walls, when located along a front or side elevation, and from the rear elevation for non-waterfront lots...
- (6) Rooftop enclosures with a maximum walled area of 400 square feet... located as close to the center of the roof as possible and visually recessive such that they do not become vertical extensions of exterior building elevations...



Enhanced Rooftop Access (Optional) - Draft

G. Height exceptions.

6. Rooftop decks and terraces (6) inches max. Built in planters, gardens or similar landscaping areas, not to exceed three and one-half (3-½) feet above the finished roof deck height...immediately abutting the roof deck area...

7. Rooftop trellises or pergolas... with a roof of cross rafters or latticework and the area covered is no more than 50% of the terrace or deck area allowed...

8. Rooftop enclosures...not to exceed ten (10) feet in height, measured from the top of the structural roof slab to the highest point of a flat roof and to the average height between eaves and ridge of a sloped roof.



Additional Considerations

- Cross-referencing with new Green Building Program:
 - 4-10 points for photovoltaic systems
 - 4-6 points for green and white roofs



Next

- P&Z Board review of proposed amendments – **Early June meeting**
- 1st reading by Village Commission – **Late June meeting**
- 2nd reading and adoption by Village Commission - **date to be determined**

Questions?

