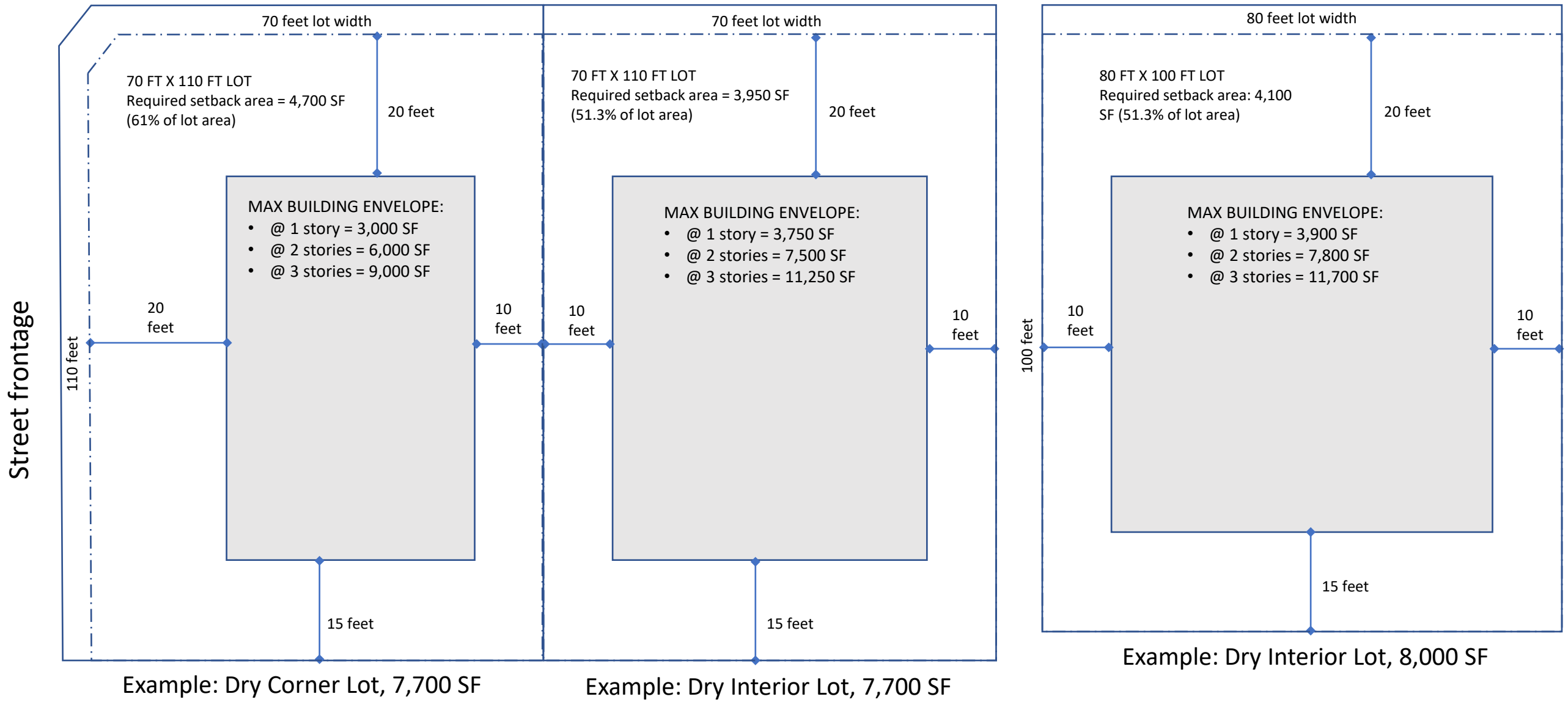


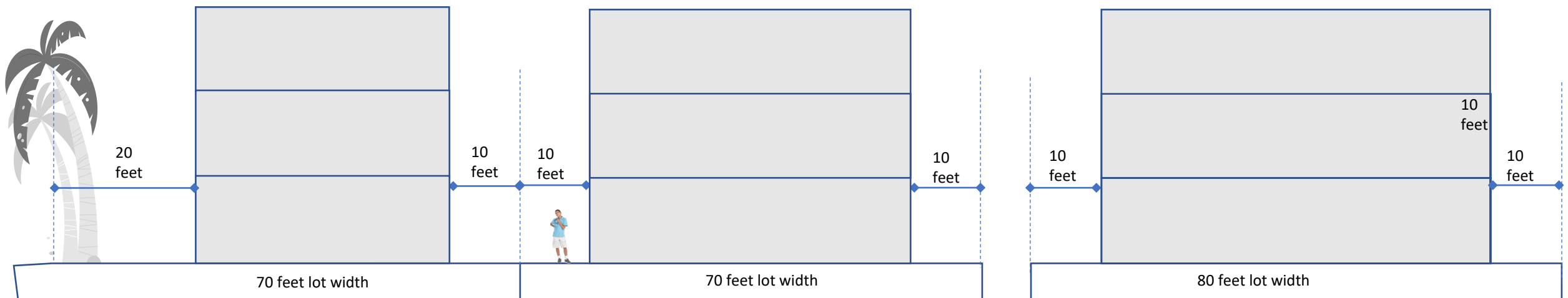
North Bay Island / RS-1 Zoning District Analysis of Maximum Building Envelope:
Current versus Recommended Regulations for Setbacks

GENERIC ILLUSTRATIONS OF MAX SF WITH CURRENT REGULATIONS, UP TO 3 STORIES (DRY LOTS)

Street frontage

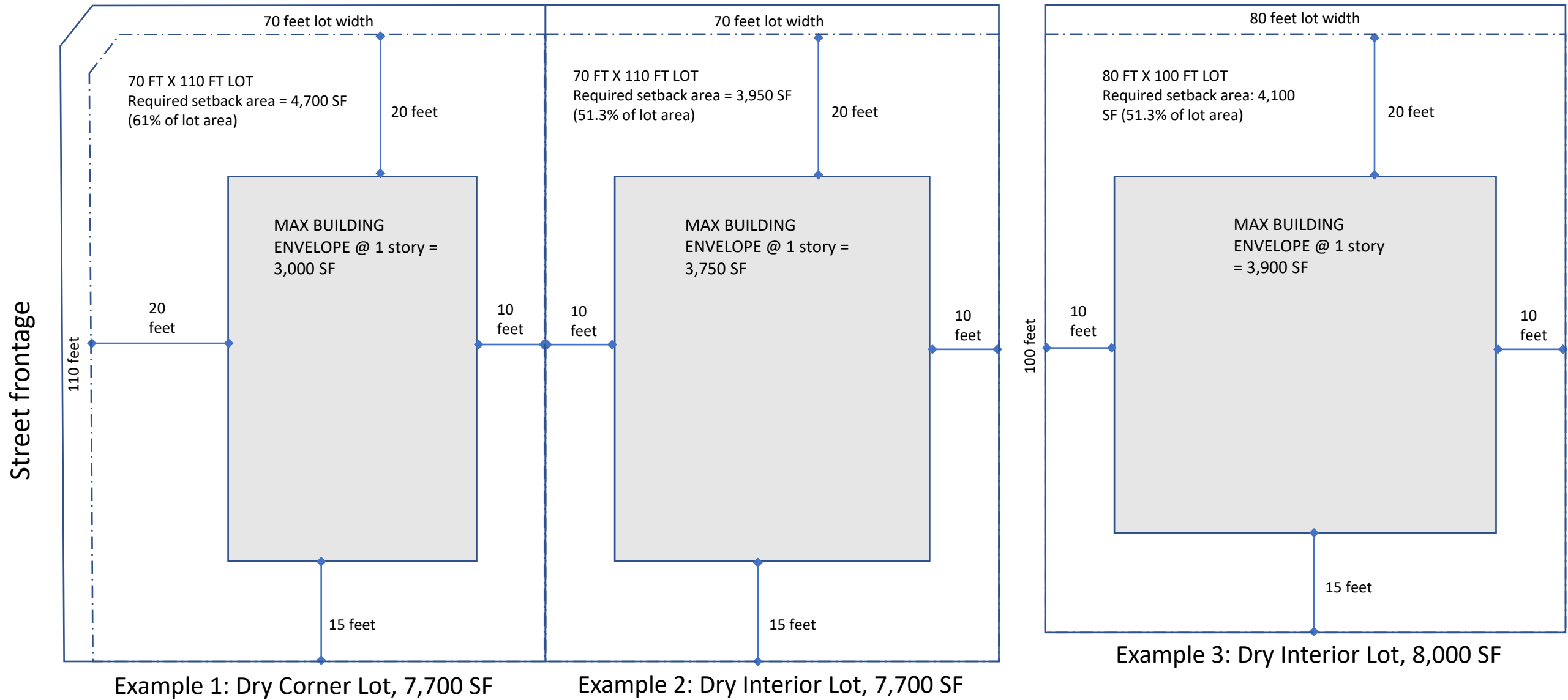


PLAN VIEW AND ELEVATION DIAGRAMS (3-STORY MASSING)

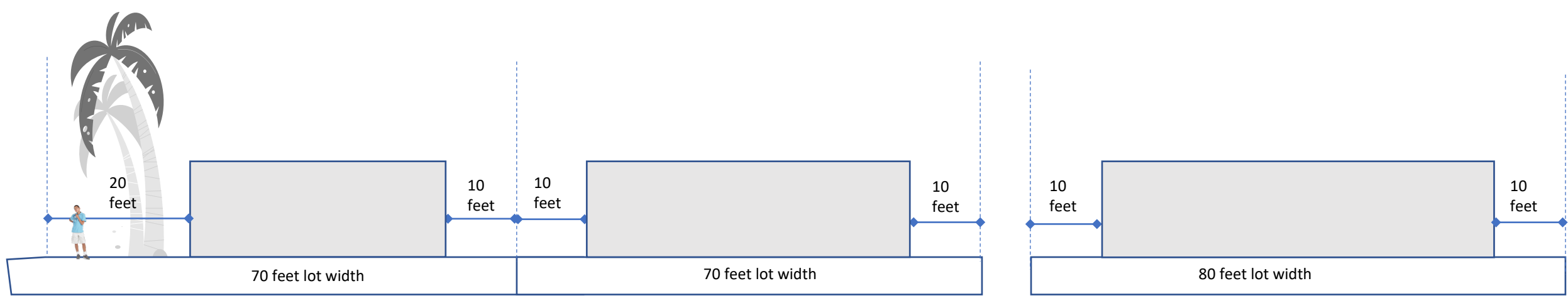


**GENERIC ILLUSTRATIONS OF MAX SF WITH PROPOSED REGULATIONS (DRY LOTS):
FOR A 1-STORY HOME – **SETBACKS UNCHANGED****

Street frontage

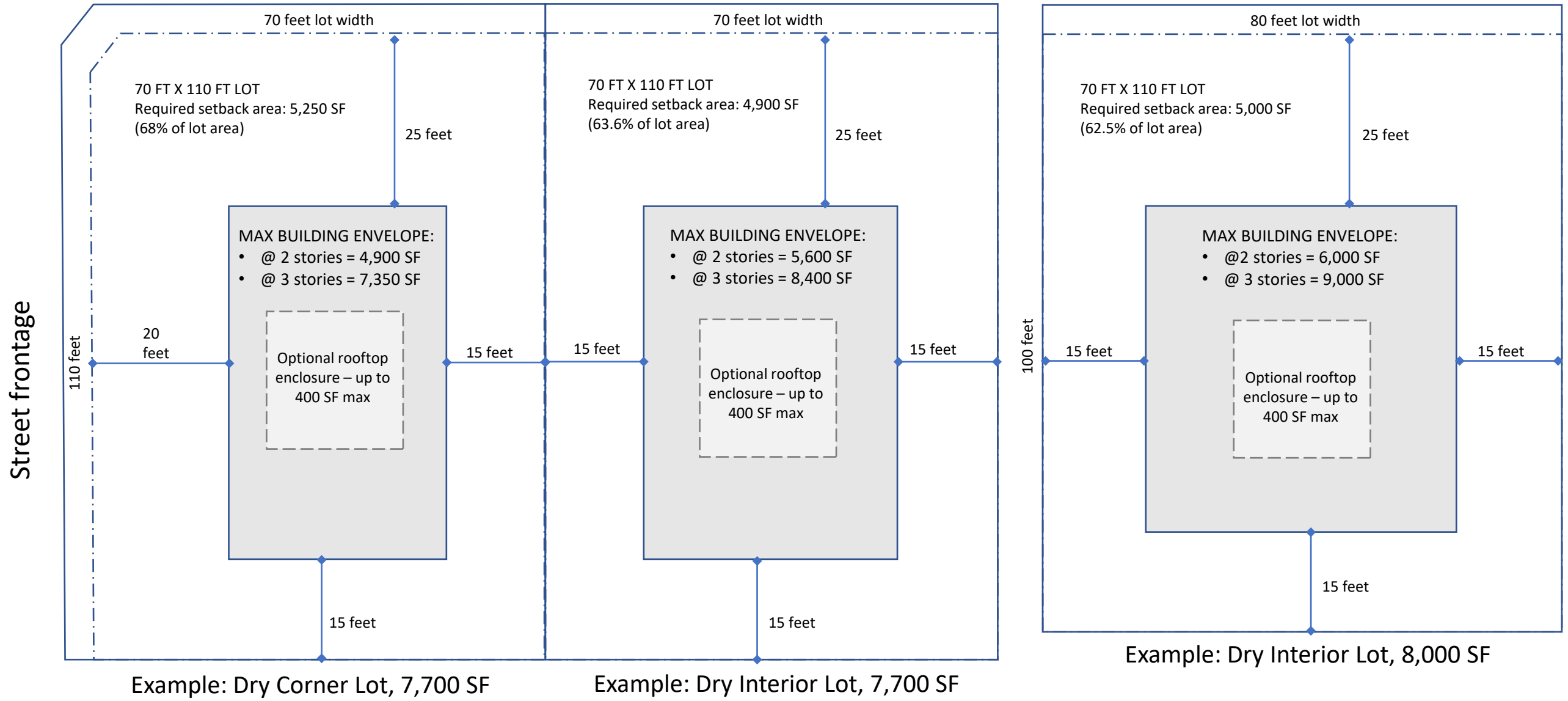


↑ PLAN VIEW AND
ELEVATION DIAGRAMS (1-STORY MAX MASSING) ↓

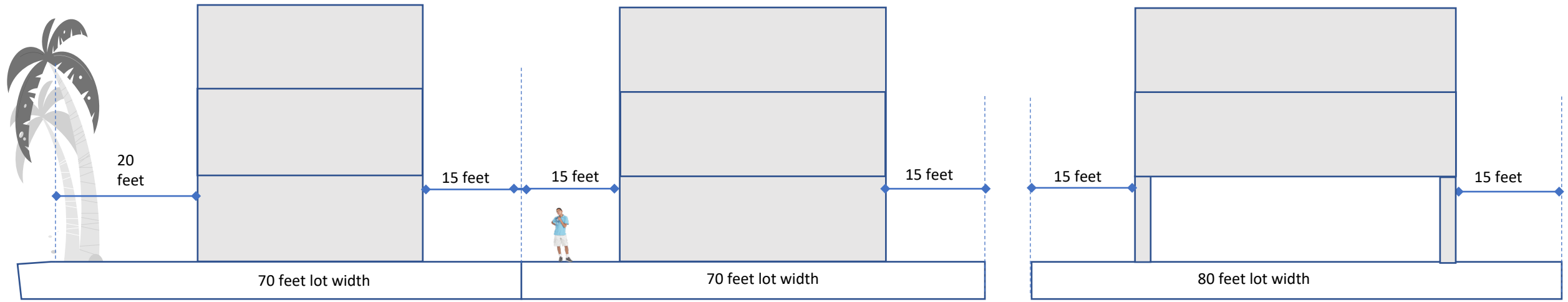


**GENERIC ILLUSTRATIONS OF MAX SF WITH PROPOSED REGULATIONS (DRY LOTS):
FOR 2- OR 3-STORY HOMES – FRONT AND SIDE SETBACKS MODIFIED**

Street frontage

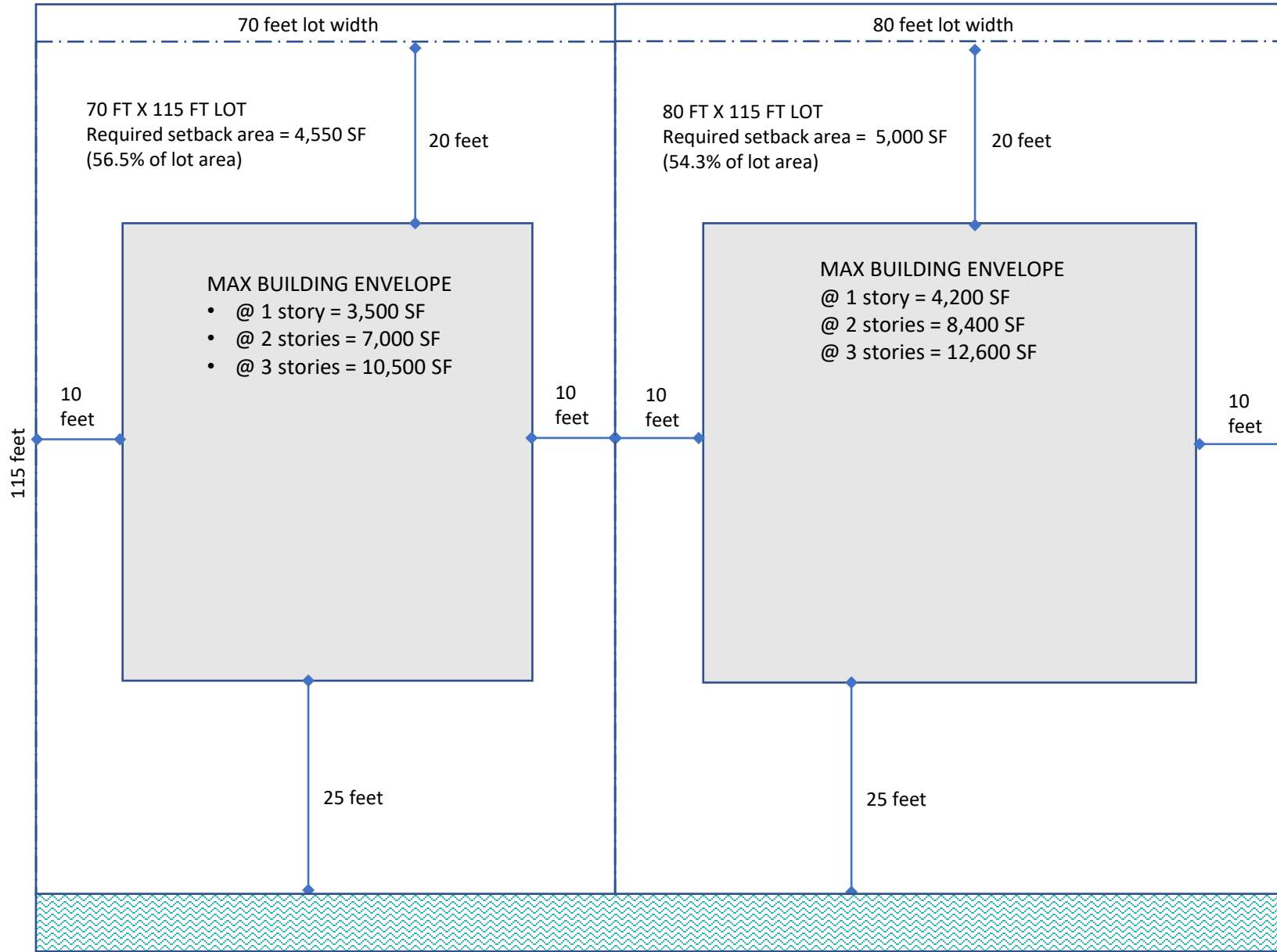


↑ PLAN AND
ELEVATION DIAGRAMS (2- AND 3-STORY MAX MASSING) ↓



GENERIC ILLUSTRATIONS OF MAX SF WITH CURRENT REGULATIONS, UP TO 3 STORIES (WATERFRONT LOTS)

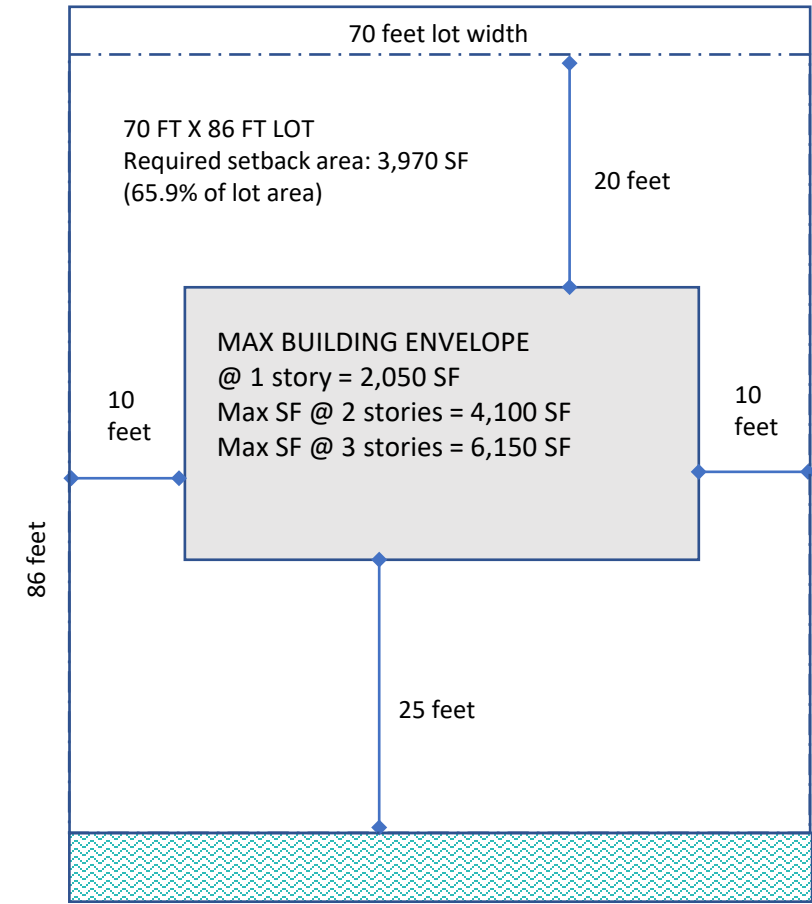
Street frontage



Example 1: Waterfront Lot, 8,050 SF

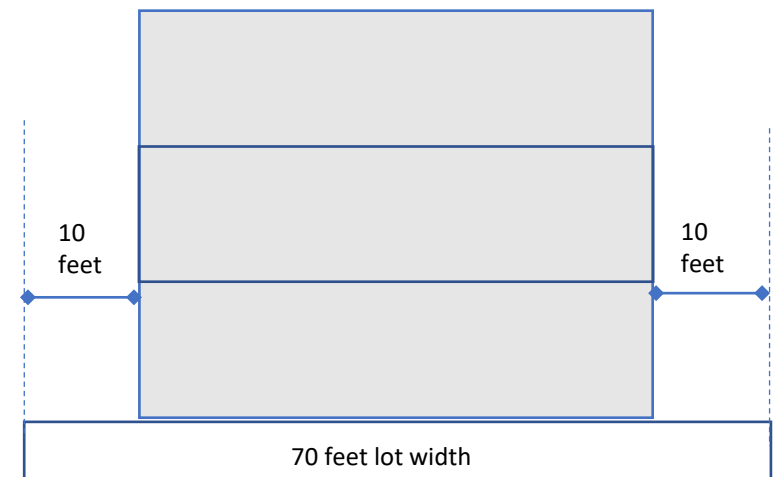
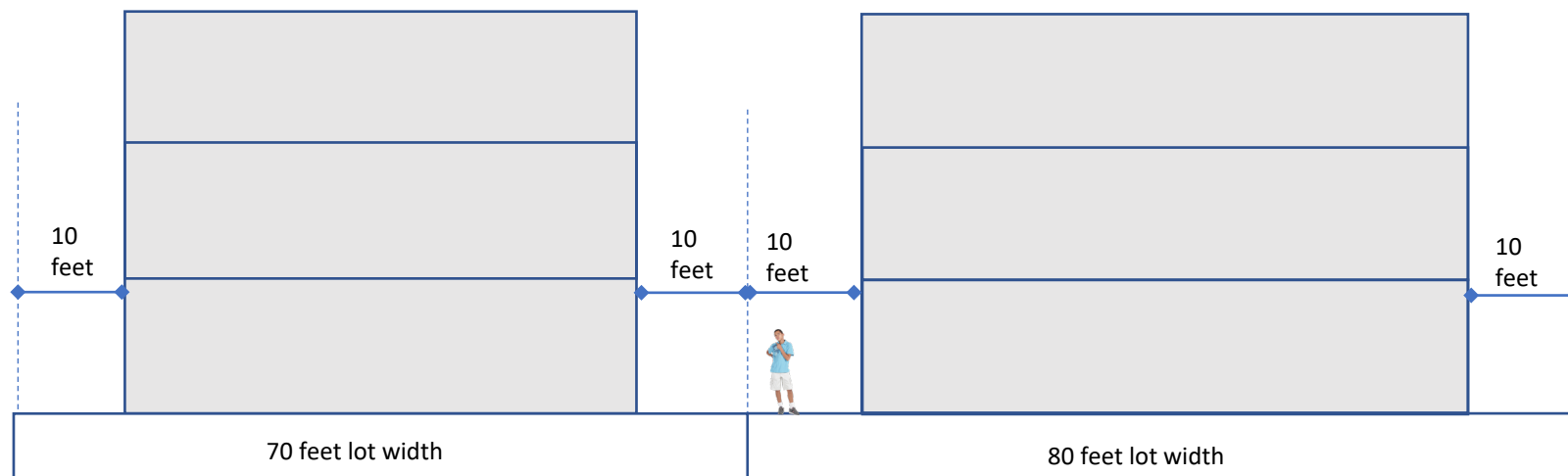
Example 2 : Waterfront Lot, 9,200 SF

Street frontage



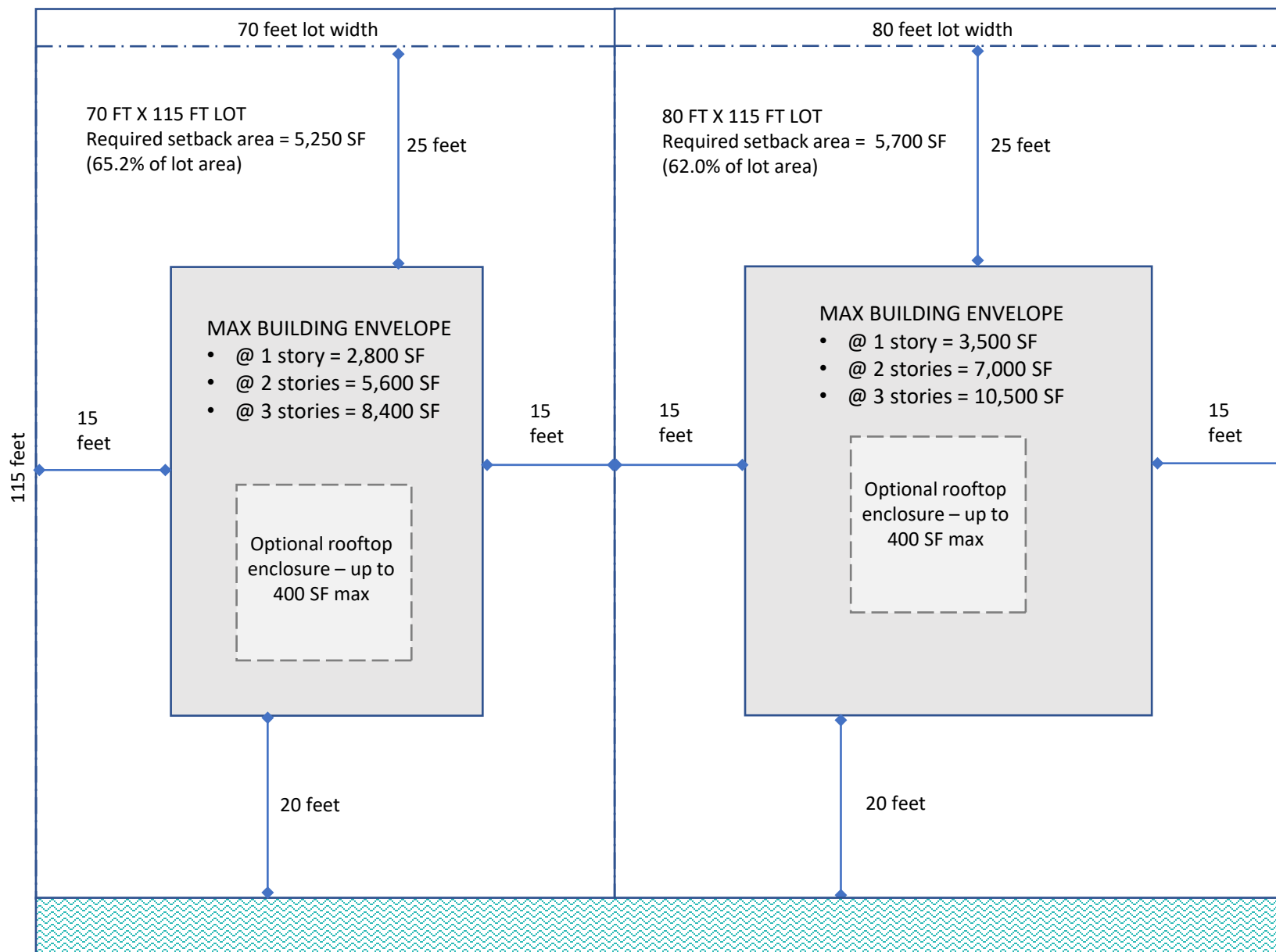
Example 3: Waterfront Lot, 6,020 SF

↑ PLAN VIEW AND
ELEVATION DIAGRAMS (3-STORY MASSING) ↓



**GENERIC ILLUSTRATIONS OF MAX SF WITH PROPOSED REGULATIONS (WATERFRONT LOTS):
FOR 2- OR 3-STORY HOMES – SETBACKS MODIFIED**

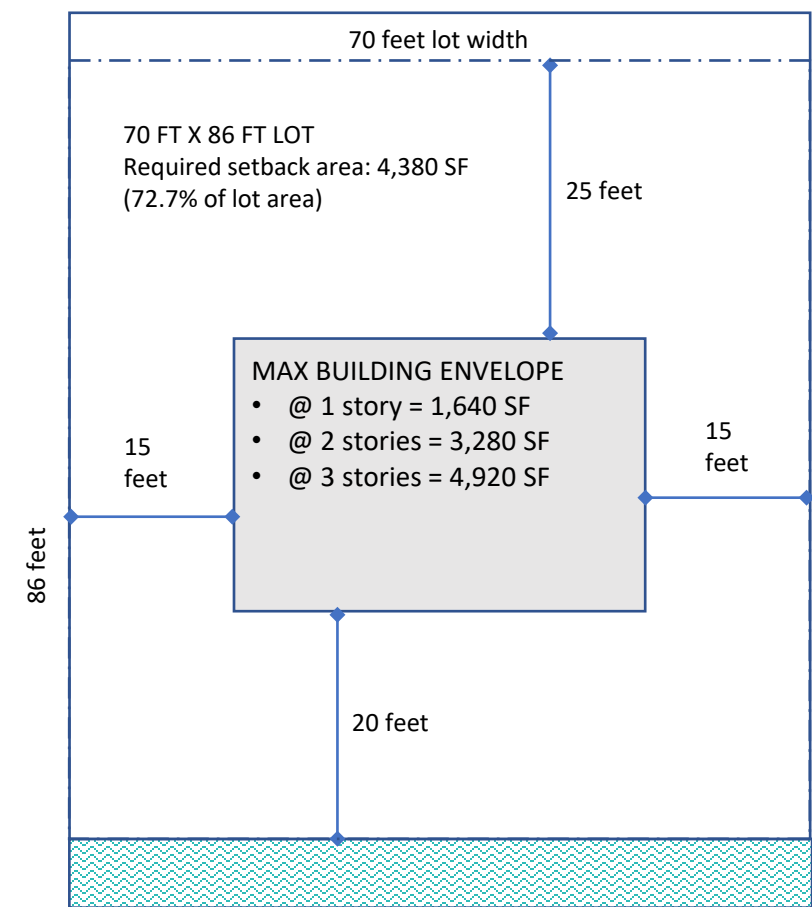
Street frontage



Example 1: Waterfront Lot, 8,050 SF

Example 2 : Waterfront Lot, 9,200 SF

Street frontage



Example 3: Waterfront Lot, 6,020 SF

↑ **PLAN VIEW AND
ELEVATION DIAGRAMS (3-STORY MASSING)** ↓

