



**ADDENDUM #4**

**ITB# 2022-006**

**PROJECT: TREASURE ISLAND ADA SIDEWALK IMPROVEMENTS & NORTH BAY VILLAGE BAYWALK PLAZA AREA NORTH - PHASE 1**

**DATE: 1/11/2023**

- A. **The purpose of this addendum is to answer questions submitted by the vendors at the December 6, 2022 Mandatory Pre-Bid Conference and Site Visit and through email up to December 29, 2022, Revise the Bid Form (Attachment A), Revise the Structural Details of Baywalk Plaza (Attachment B), and a Plan Holders List (Attachment C).**

**Question 1:** What are the project budgets?

**Answer 1:** The Project's estimated values are \$926,000 for NORTH BAY VILLAGE BAYWALK PLAZA AREA NORTH - PHASE 1 and \$116,000 for TREASURE ISLAND ADA SIDEWALK IMPROVEMENTS.

**Question 2:** Are Maintenance of Traffic (MOT) Plans provided?

**Answer 2:** The MOT plans are not provided. For more details see Page 80 Section 6.17 Public Convenience and Safety.

**Question 3:** Will DBE FDOT Certified FDOT contractor be allowed to bid?

**Answer 3:** Yes.

**Question 4:** What about tree removal permits?

**Answer 4:** NBV is responsible for tree removal permits as per NBV Ordinance Chapter 9, Division 4, Section 9.7.

**Question 5:** What about permits?

**Answer 5:** Please refer back to the Sections in the ITB that address permits such as; Page 18 Sections 4.1 and 4.2, Page 85 Section 10.4.6, Section 00810 Special Conditions, Section 8.1 Permits and Utilities, Page 105 Section 9, and Page 130 Section 7-1.4.

**Question 6:** What is the police hourly rate for traffic control officer?

**Answer 6:** Effective January 1, 2023, the Off-Duty Rate is \$75 per hour plus Admin Fees, holiday rates may vary. Please review the Village ordinance for the requirements.



**Plan review is required prior to determination of the necessary resources for the project. The Bid Form for Baywalk Plaza North Project has a bid item for Traffic Control Officer and for the Treasure Island ADA Improvements Project Bid Form, the contractor can include it in the MOT bid item. Please call (305) 758-2626 to request Off-Duty Services.**

**Question 7:** There are 2 bid forms, but only one has a Contingency (5 %) and says Do Not Bid. Please clarify.

**Answer 7:** Please see Attachment A, for the revised Bid Form.

**Question 8:** Can the Village include a Permitting Allowance (FDOT) in the Item # 4 so that all bidders have the same number.

**Answer 8:** No. Contractors should budget for the permitting in their bid price.

**Question 9:** Who pays for the Quality Control (proctor, density test, concrete, etc.), the Village or the Contractor?

**Answer 9:** Quality Control Testing is paid for in accordance with Section 00810 Paragraphs 8.24 & 8.25.

**Question 10:** Does the Contractor have to install a Construction fence?

**Answer 10:** Yes, the Contractor will have to install a Construction fence for the NORTH BAY VILLAGE BAYWALK PLAZA AREA NORTH - PHASE 1 Project.

**Question 11:** Does the Contractor have to pay for the Staging Area?

**Answer 11:** Yes, please see Page 99 Section 8.17.

**Question 12:** There are 2 projects in one. How many construction signs are required?

**Answer 12:** Two Construction signs are required, one for each Project.

**Question 13:** On 8.18 Quality Control, can the Village change the Dust Control from every working day to once a week (Friday), because there are 270 days until completion and that would be very expensive?

**Answer 13:** Please see the revised Section 8.18 for clarification.

**“8.18 Quality Control:**

**Field Observations - Provide twenty-four (24) hour notification to the Architect/Engineer for all specified field observations, unless otherwise noted.**

**Inspection – Periodically the Village may inspect the project for the purpose of**



assuring compliance with the specifications.

**Dust Control** – Contractor shall control dust by watering and sweeping at end of each work day (During Construction Excavation, Soil Storage, and Soil Usage) or as directed by Village Engineer. Dust control must meet Village's satisfaction or Village will control dust by whatever means deem necessary and Contractor shall pay all expenses incurred by the Village associated with dust control."

**Question 14:** Where does the contractor discharge during dewatering?

**Answer 14:** Dewatering is the responsibility of the contractor who must apply for the DERM Class V Dewatering Permit. The Contractor should follow dewatering according to specification package in the ITB. Special instructions during construction must be coordinated with the EOR.

**Question 15:** About the Dewatering Permit, who pays for it?

**Answer 15:** Dewatering is the responsibility of the contractor who must apply for the DERM Class V Dewatering Permit.

**Question 16:** The drawings have a detail for a Root Barrier. Where does the barrier go or what length does the Contractor have to install?

**Answer 16:** The Root Barrier shall be installed according to the plans, specifications, and or applicable standards.

**Question 17:** Does the Contractor has to pay some fee for the Water Service Connection?

**Answer 17:** Yes, please contact the North Bay Village Utilities Department at (305)756-7171 to coordinate.

**Question 18:** Please provide a copy of the pre-bid meeting Sign-in-sheet.

**Answer 18:** The Sign-In sheet has been posted to DemandStar and the Village Website.

**Question 19:** Please share with me Plan/specs and plan holders list for the project.

**Answer 19:** Please visit DemandStar <https://www.demandstar.com/app/buyers/bids/405910> or the Village Website <https://northbayvillage-fl.gov/bids-rfps/> to download the Plans for ITB#2022-006. Due to the size of the files they are uploaded as two separate Exhibits (Exhibits D & F). Please see Attachment C for the Plan Holders List.

**Question 20:** What is the construction timeline for this project?



**Answer 20:** As provided in Sec 9.1.3 on Page 24 of the ITB, the construction duration is 270 days.

**Question 21:** Do you have a start and/or end date in mind?

**Answer 21:** Please see Page 24 for the Completion Time of both projects.

- **Attachment A – Revised Bid Form (ITB Page 28)** Replace the attached Bid Form for PROJECT#: FM 444197-1(58) - NORTH BAY VILLAGE TREASURE ISLAND ADA SIDEWALK IMPROVEMENTS. Line 20 has been corrected.
- **Attachment B – S-101 Structural Detail (Baywalk Plaza)** Replace with original set that says “Wellington Trace Traffic Calming for Town of Wellington” in the Title Block. Replace with correct sheet attached showing Baywalk Plaza North in the title block like other sheets of the bid plan set.
- **Attachment C – Plan Holder List ITB#2022-006** List of Plan Holders from DemandStar for ITB#2022-006.

**This Addendum to the proposal is issued to provide additional information and clarification to the original proposal and is hereby declared a part of the original proposal and documents. In case of conflict, this Addendum shall govern.**

**All other terms and conditions of this ITB remain unchanged.**

This Addendum shall be considered an integral part of the ITB and Contract Documents and this Addendum must be signed and returned with your submittal **by 2:00 p.m. on January 18, 2023**, and acknowledged on Bid Form, Designated in Section 00410. Failure to comply may result in disqualification of your bid submittal.

*Angela C. Atkinson*

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Angela Atkinson  
Chief Financial Officer

Acknowledgement is hereby made of Addendum#4 to ITB#2022-006: TREASURE ISLAND ADA SIDEWALK IMPROVEMENTS & NORTH BAY VILLAGE BAYWALK PLAZA AREA NORTH - PHASE 1.

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Firm

\_\_\_\_\_  
Printed, Title

\_\_\_\_\_  
Date

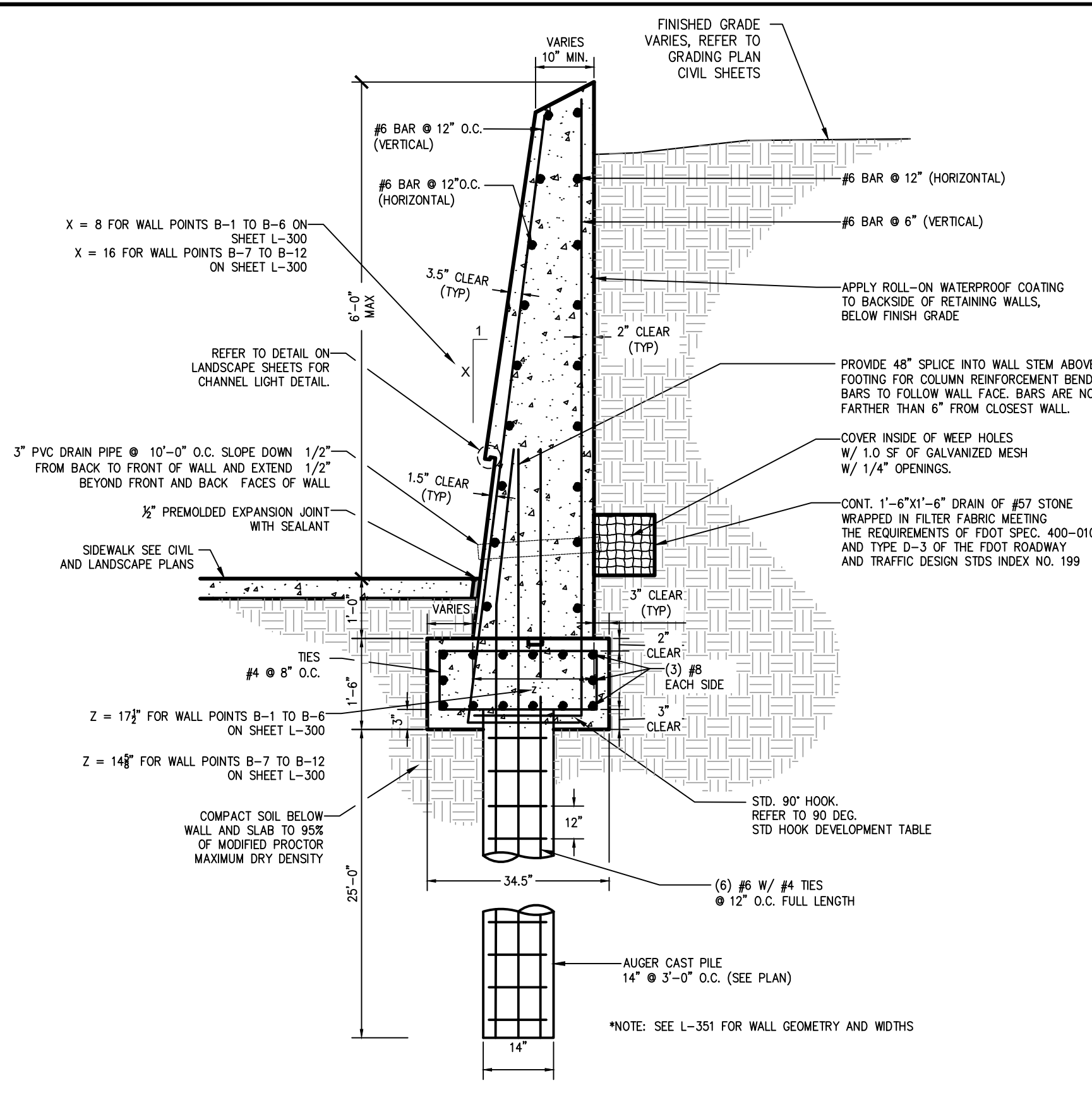
\_\_\_\_\_  
Email Address



<b>BID FORM ITB#2022-006</b> <b>PROJECT#: FM 444197-1(58) - NORTH BAY VILLAGE TREASURE ISLAND ADA SIDEWALK IMPROVEMENTS</b>						
Item	Pay Item	Description	Unit	Unit Cost	Quantity	Total Amount
1	101-1	Mobilization (10%)	LS		1	
2	102-1	Maintenance of Traffic (MOT) (10%)	LS		1	
3	110-1-1	Clear & Grubbing	LS		1	
4	104-18	Inlet Protection System	EA		5	
5	110-4-10	Removal of existing concrete	SY		420	
6	520-1-10	Concrete Curb & Gutter, Type F	LF		223	
7	520-2-4	Concrete Curb, Type D	LF		61	
8	520-3	Valley Gutter - Concrete	LF		22	
9	522-1	Concrete Sidewalk Pavement 4"	SY		370	
10	527-2	Detectable Warnings	SF		35	
11	653-1-60	Pedestrian Signal, Remove Ped Signal- Pole/Pedestal To Remain	AS		2	
12	653-1-11	Pedestrian Signal, Furnish & Install Led Countdown, 1 Way	EA		2	
13	665-1-12	Pedestrian Detector, Furnish & Install, Accessible	EA		17	
14	670-5-400	Traffic Controller Assembly, Modify	AS		4	
15	630-2-11	Conduit, Furnish & Install, Open Trench	LF		190	
16	632-7-2	Signal Cable- Repair/Replace/Other, Furnish & Install	LF		930	
17	700-1-50	Single Post Sign, Relocate	AS		3	
18	711-11123	Thermoplastic, Standard, White, Solid, 12" for Crosswalk and Roundabout	LF		420	
19	711-11125	Thermoplastic, Standard, White, Solid, 24" for Stop Line and Crosswalk	LF		365	
20	0999-25	Initial Contingency Amount, (5%)	LS		1	
					<b>SUBTOTAL</b>	
					<b>TOTAL BID</b>	

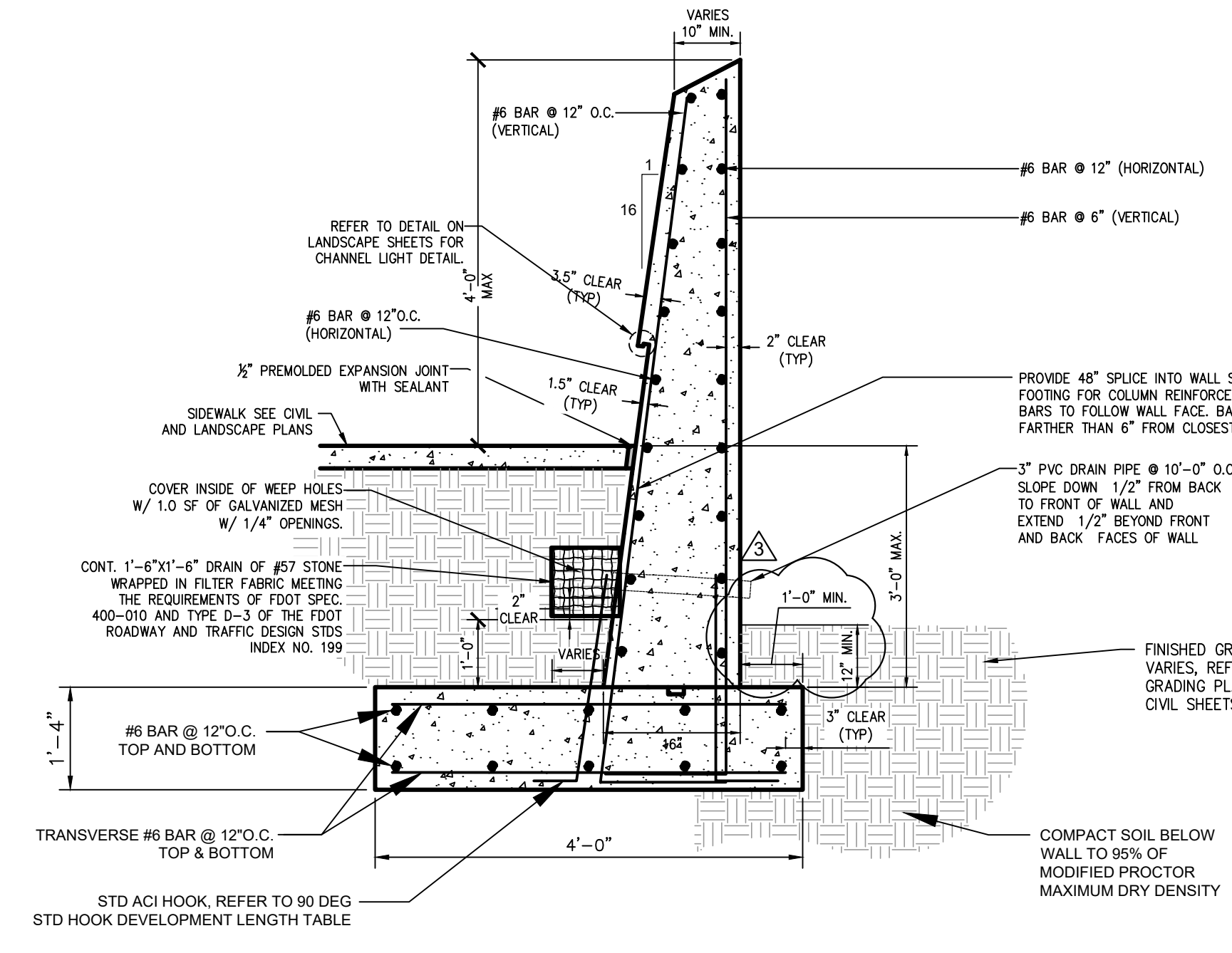


Plotted By: Gonzalez, Gregory - Sheet Set: BAYWALK PLAZA - 100-STRUCTURAL-DETAILS - June 08, 2022 - 08:03:15am - K:\MIB-URG\043138022-Baywalk Plaza Area Design\STRUCTURES\CADD\PlanSheets\101-STRUCTURAL-DETAILS-NORTH.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



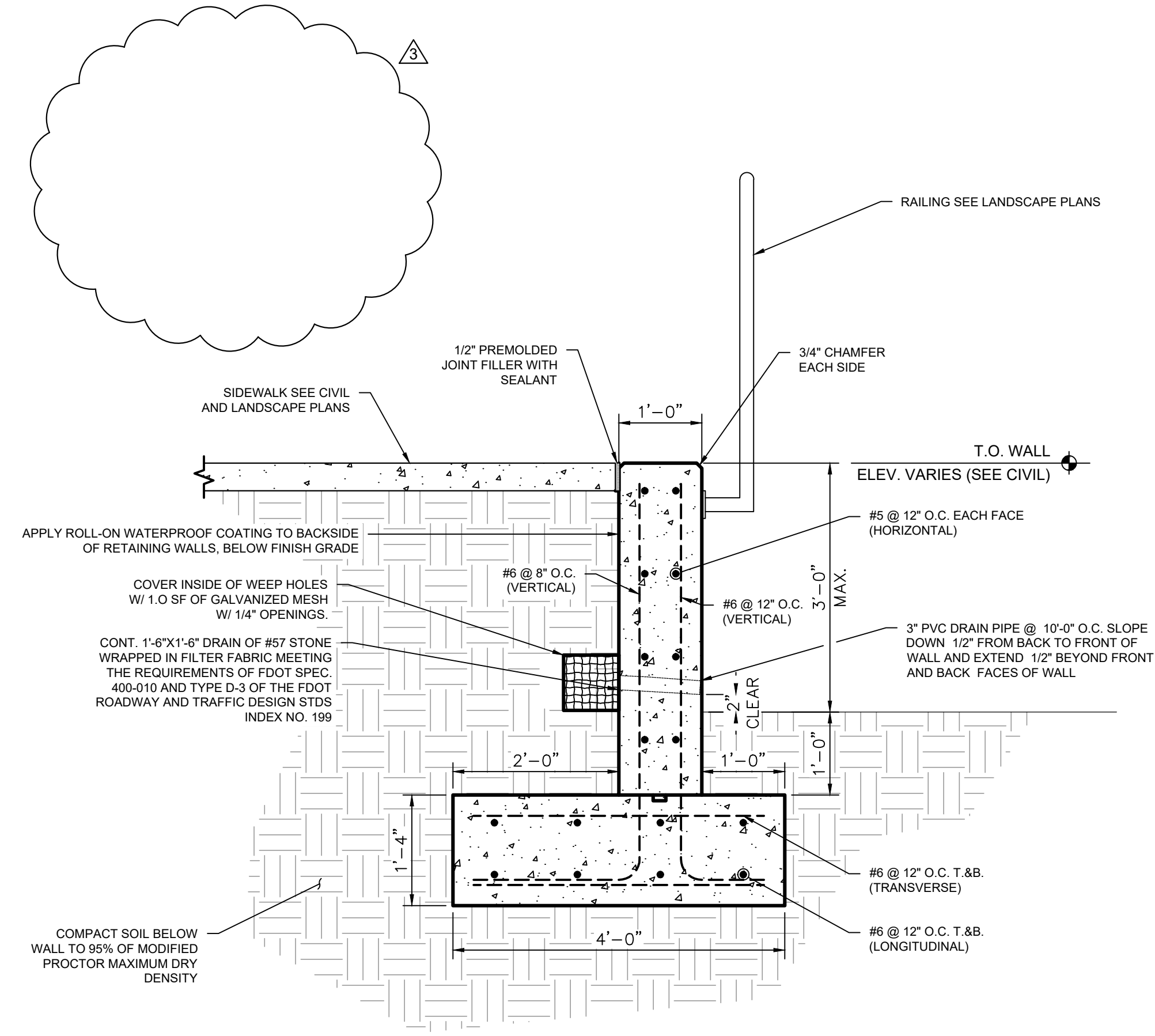
WALL HEIGHT VARIES  
SEE LANDSCAPE SHEETS FOR TOP THICKNESS  
AND HEIGHT AT EACH POINT ALONG THE WALL.  
THIS WALL IS DESIGNED TO A 6'-0" HEIGHT ABOVE GRADE

01 ANGLED CONCRETE RETAINING WALL @ ROAD EDGE  
TYPE 1 NTS

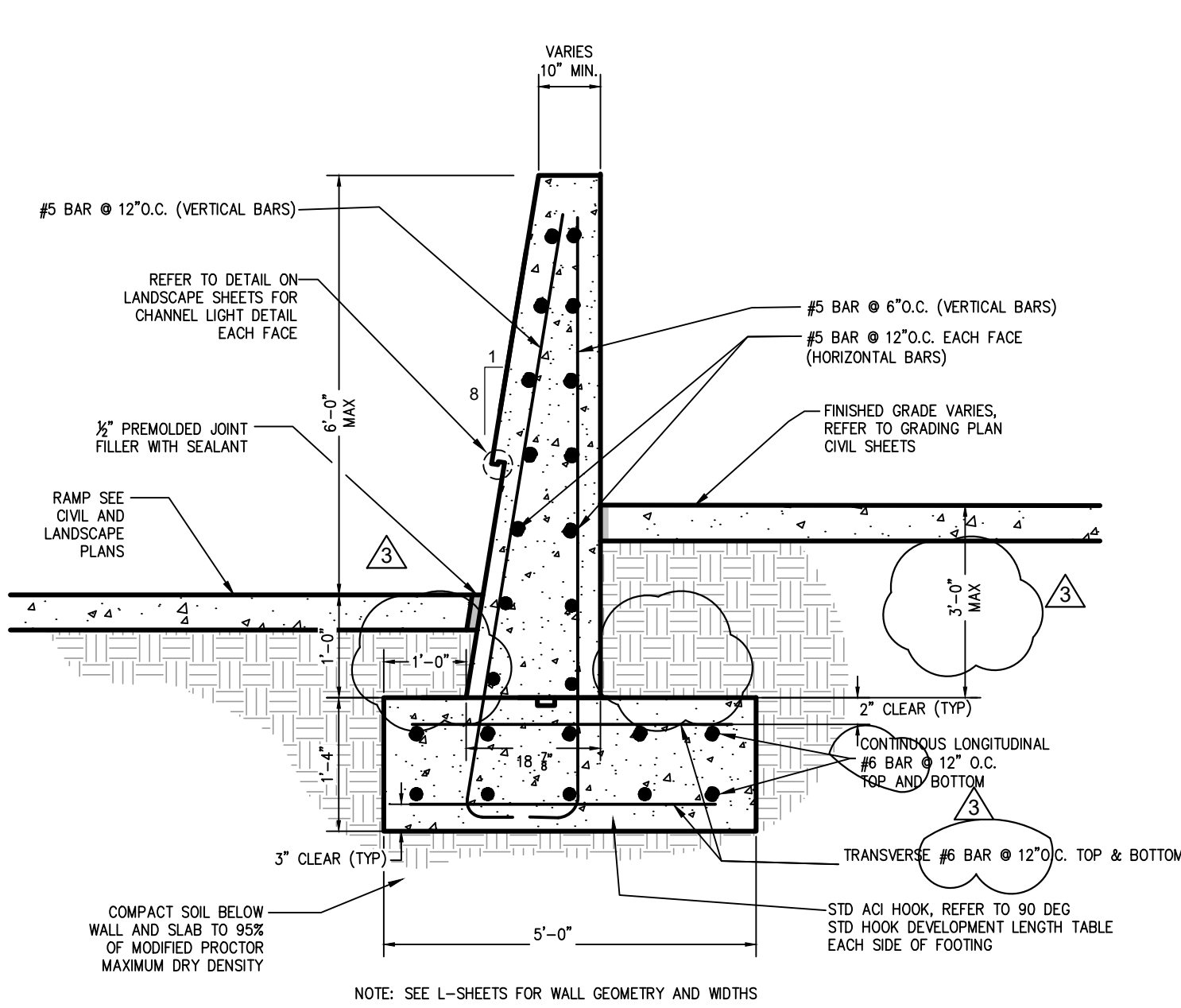


WALL HEIGHT VARIES  
SEE LANDSCAPE SHEETS FOR TOP THICKNESS  
AND HEIGHT AT EACH POINT ALONG THE WALL.  
THIS WALL IS DESIGNED TO A 4'-0" HEIGHT ABOVE GRADE AND A  
3'-0" RETAINED HEIGHT

02 ANGLED CONCRETE RETAINING WALL @ SEAWALL  
TYPE 2 NTS

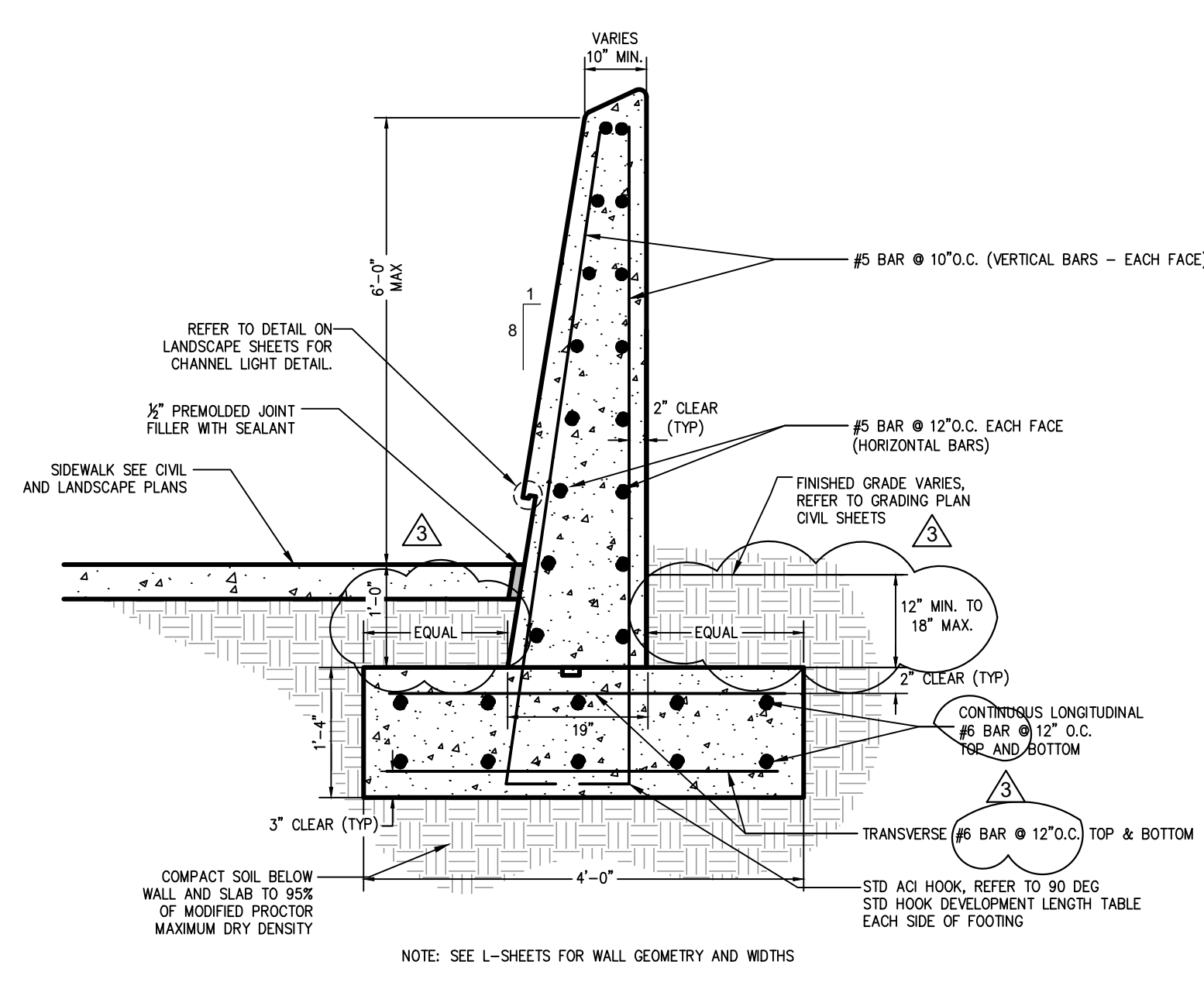


03 CONCRETE RETAINING WALL @ SEAWALL  
TYPE 3 NTS



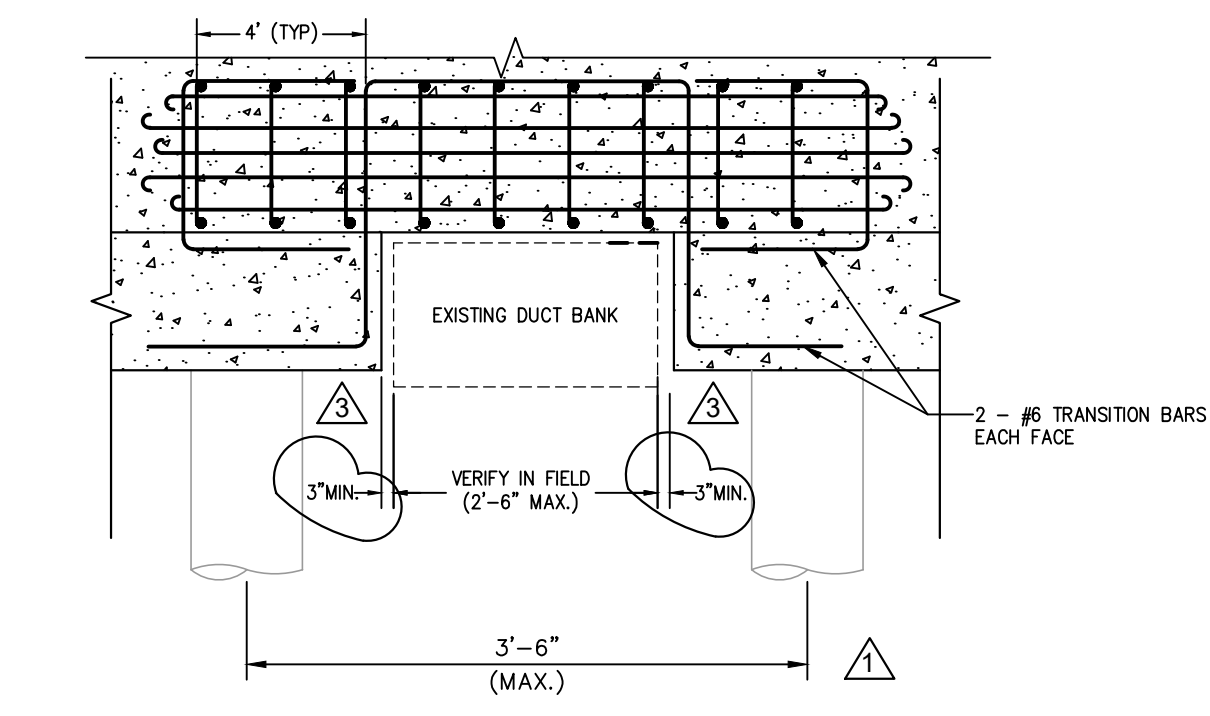
WALL HEIGHT VARIES  
SEE LANDSCAPE SHEETS FOR TOP THICKNESS  
AND HEIGHT AT EACH POINT ALONG THE WALL.  
THIS WALL IS DESIGNED TO A 6'-0" HEIGHT ABOVE GRADE  
AND 2'-0" RETAINED HEIGHT

04 ANGLED CONCRETE DIVIDER WALL @ RAMP  
TYPE 4 NTS

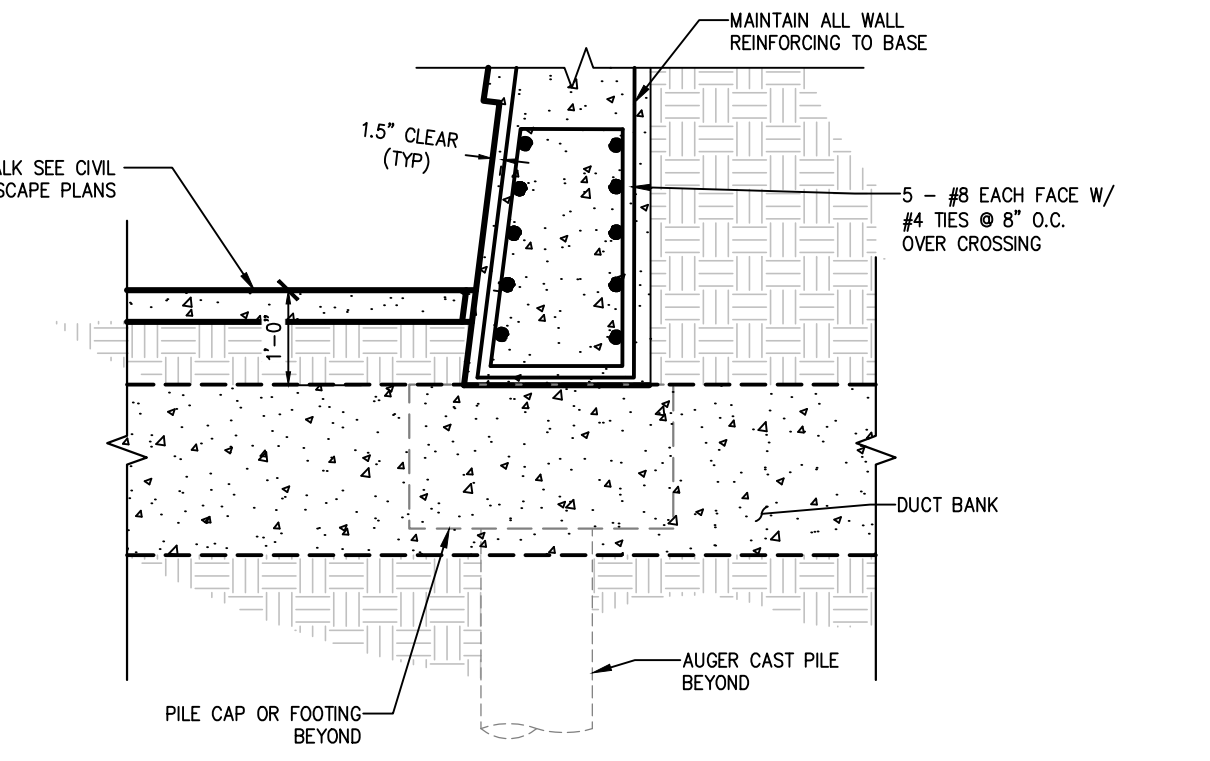


WALL HEIGHT VARIES  
SEE LANDSCAPE SHEETS FOR TOP THICKNESS  
AND HEIGHT AT EACH POINT ALONG THE WALL.  
THIS WALL IS DESIGNED TO A 6'-0" HEIGHT ABOVE GRADE

05 ANGLED CONCRETE SCREEN WALL  
TYPE 5 NTS



06 ANGLED CONCRETE RETAINING WALL (UTILITY CROSSING)  
NTS



07 ANGLED CONCRETE RETAINING WALL (UTILITY CROSSING)  
NTS

- GENERAL WALL CONCRETE NOTES**
- ALL CONCRETE MATERIALS PLACING AND HANDLING SHALL BE IN ACCORDANCE W/ THE LATEST EDITION OF THE FDOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4000 P.S.I.
  - REINFORCING STEEL SHALL BE ASTM A615 W/ SUPPLEMENT, GRADE 60
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO POURING.
  - ALL FORMWORK TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO POURING WALLS.

**STD HOOK NOTES**

- VALUES ASSUME NO EPOXY-COATING IS USED AND NORMAL WEIGHT AGGREGATE CONCRETE.
- NO REDUCTION FACTORS IN ACI 318, SECTION 12.5.3 ARE APPLIED TO THESE VALUES.
- THE HOOK DEVELOPMENT LENGTH SHALL NOT BE LESS THAN 8\*BAR DIA.
- 90° STD HOOK SHALL BE BEND PLUS 12\*BAR DIA. EXTENSION AT FREE END.

NTS

BAR SIZE	90 DEG STD HOOK DEVELOPMENT LENGTH (L <sub>h</sub> )	
	f <sub>c</sub> = 4 KSI	f <sub>c</sub> = 5 KSI
#3	7	7
#4	10	9
#5	12	11
#6	15	13
#7	17	15
#8	19	17
#9	22	19
#10	24	22
#11	27	24

Revised S-101 sheet issued with  
Addendum No.3 for ITB2022-001  
(revised 6/8/2022)



90% FDOT ERC COMMENTS	11/5/2021	 © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 2601 CATTLEMAN ROAD, SUITE 200, SARASOTA, FL 34232 PHONE: 941-379-7600 WWW.KIMLEY-HORN.COM CA 0000696	REVISIONS	DATE	
FINAL FDOT ERC COMMENTS	12/23/2021		No.		
UNFORESEEN SITE CONDITIONS	02/28/2022				
LICENSED PROFESSIONAL	JON CASEY LONG		PE 56083	DATE: 12/23/2021	
KHA PROJECT	043138022	SCALE	AS SHOWN	DRAWN BY	ALB
DATE	12/23/2021	DESIGNED BY	JCL	CHECKED BY	JCL
FINAL PLANS FOR REVIEW		STRUCTURAL DETAILS		FL	
BAYWALK PLAZA		PREPARED FOR		MIAMI-DADE COUNTY	
NORTH BAY VILLAGE		SHEET NUMBER			
		S-101			

# ATTACHMENT C

Member Name North Bay Village  
 Bid Number ITB-2022-006-0-2022/AA  
 Bid Name ITB#2022-006 TREASURE ISLAND ADA SIDEWALK IMPROVEMENTS & BAYWALK NORTH PLAZA PHASE I

9 Document(s) found for this bid

29 Planholder(s) found

SupplierName	FullName	Email	Address1	Address2	City	State	PostalCode	Phone
C. Slaughter Construction, Inc.	Valerie Neaves	valerie@slatqr.net	PO Box 1154		Palm City	FL	34991	4073949415
ConstructConnect	ConstructConnect Bid Opportunities	content@constructconnect.com	3825 Edwards Rd	Suite 800	Cincinnati	OH	45209	8772271680
Cool-Breeze Air Conditioning, Corp.	Rosa Alicea	rosa@cool-breezeac.com	13120 SW 130 Terrace		Miami	FL	33186	3052262665
D. Stephenson Construction, Inc.	Joseph Sanches	jsanches@dstephenson.com	6241 N. Dixie Hwy		Fort Lauderdale	FL	33334	9543157020
Dodge Data	Bonny Mangold	dodge.docx@construction.com	4300 Beltway Place, Ste 150		Arlington	TX	76018	4133767032
Eastmeg05	Raissa Lopez	info@eastmeg.com	3401 NW 82nd Ave	Suite 370	Miami	FL	33122	3055998133
EmpowHer Facilities, Maintenance, & Construction Services, FMC	Kelly Shearer	kshearer@empowherfmc.com	107 N 11th St	807	Tampa	FL	33602	8134404947
FALCON 6 INFRASTRUCTURE GROUP, LLC	Laura Munilla	info@falcon6group.com	6201 SW 70th St	1st Floor	Miami	FL	33143	3055410000
FG Construction LLC	Bao Dang	bao@pavement.net	2701 NW 55 Court		Tamarac	FL	33309	9548564925
Gemstone Builders LLC	Moti Bilia	moti@qemstoneqc.com	4907 N. University Dr.	Suite 205	Lauderhill	FL	33351	9542257440
Gosalia Concrete Constructors, Inc.	Jay Gosalia	estimating@qosallaco.com	4607 N. 56th Street		Tampa	FL	33610	8134430984
Homestead Concrete & Drainage	Nelson Apolinario	bids@homesteadconcrete.com	221 SW 4 Ave		Homestead	FL	33030	3052489649
IES INVESTMENTS, LLC	Juan Perdomo	luanin@iesinvestments.com	8345 NW 54th ST	8345	Miami	FL	33166	7862462702
Justin Architects, P.A. (PKA Cartava & Associates)	Suzanne Moore	marketing@justinarc.com	2400 East Commercial Boulevard, Suite 201		Fort Lauderdale	FL	33308	9547712724
Kimley-Horn and Associates, Inc.	Erin Athas	Florida.marketing@kimley-horn.com	1005 Nancy Circle		Orlando	FL	32708	3217540910
M&J GENERAL CONTRACTORS	CESAR DE LUNA	cesar@mjgeneralcontractors.com	300 Palermo Avenue		CORAL GABLES	FL	33134	7863197635
Manson Construction	Mark Openshaw	mopenshaw@mansonconstruction.com	5209 East Marginal Way South	PO Box 24067	Seattle	WA	98124	2067648520
Maser Consulting P.A.	Janis Lee Doran	procurement@maserconsulting.com	331 Newman Springs Road	Suite 203	Red Bank	NJ	07701	7323831950
Miliani Construction Corp	Adolfo Miliani	amiliani@milianiconstruction.com	11012 NW 73 ST		Miami	FL	33178	3054244414
No Fault, LLC	Carmen Soleau	carmen@nofault.com	3112 Valley Creek Cr., Ste. C		Baton Rouge	LA	70808	8666377678
North Bay Village	Mohan Thampi	mthampi@nbvillage.com	1666 79th St Causeway		North Bay Village	FL	33141	3057567171
Nvarko Architectural Group, Inc	Charles Nvarko	cn@nvarkoarchitects.com	5931 NW 173 Drive	Suite 2	Miami	FL	33015	3058203555
OLA Construction Group, LLC	oscar fernandez	olaconstructiongroup@gmail.com	7009 sw 115 pl	unit a	Miami	FL	33173	3059708972
Pacifica Engineering Services, LLC	Aeilvng Pereira	aperreira@pacificaes.com	601 N Congress Avenue	Suite 303	Delray Beach	FL	33445	561-693-8093
PIMENTEL CONSTRUCTION GROUP	JONATHAN PIMENTEL	JONATHAN@THEPIMENTELGROUP.COM	4490 SW 154TH AVENUE		MIAMI	FL	33185	7865311565
Snubbs Consulting, Inc.	Tomas Ruiz	Marketing@snubbs.com	9020 SW 137th AVE, Suite 250		Miami	FL	33186	3058856400
Southeastern Surveying and Mapping Corporation	Marketing Team	marketing@ssmc.us	6500 All American Blvd		Orlando	FL	32810	4079043116
Terra Hyle Contractors, Inc	Miquel Ocana	mocanas@terrahyleinc.com	2140 South Dixie Hwy	Suite 205K	Miami	FL	33133	3052160977
The Stout Group, LLC	Joey Sanchez	bids@thestoutgroup.com	10850 NW 138th Street	Bay #3	Hialeah Gardens	FL	33018	3052168406