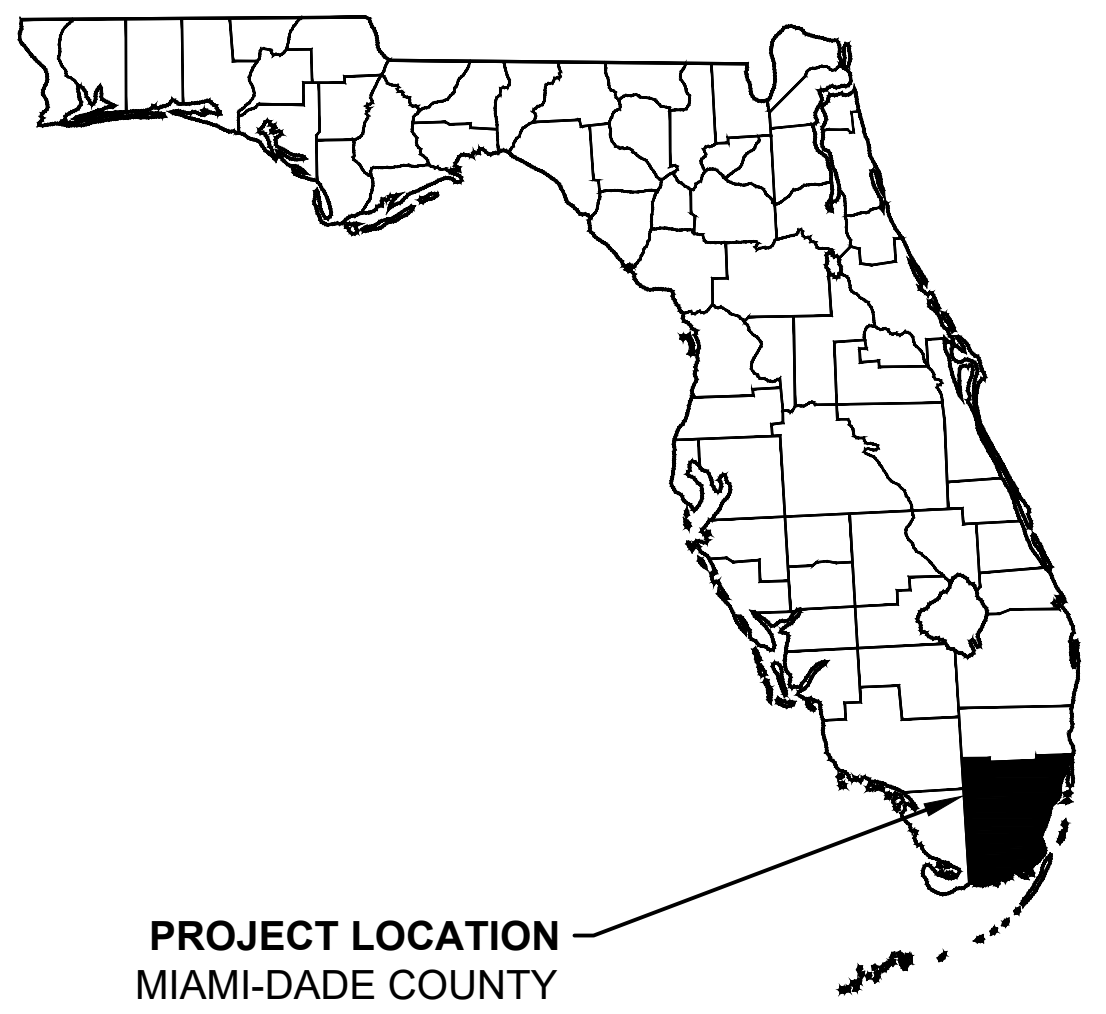
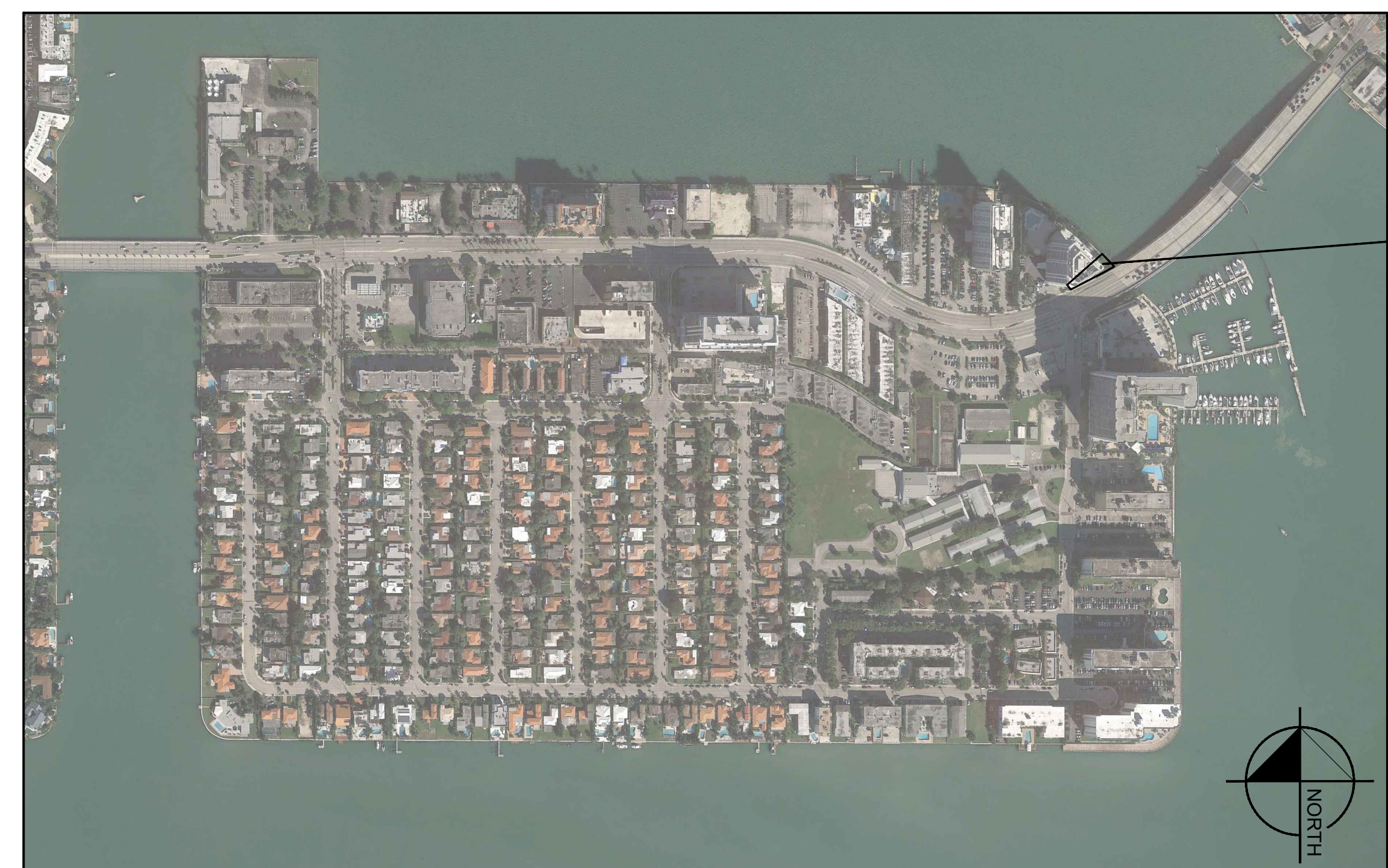


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BAYWALK (ISLANDWALK) NORTH PLAZA CONSTRUCTION PLANS FOR NORTH BAY VILLAGE



PROJECT TEAM

OWNER
NORTH BAY VILLAGE
1666 KENNEDY CAUSEWAY, 3RD FLOOR
NORTH BAY VILLAGE, FLORIDA 33141
CONTACT: RODNEY CARRERO-SANTANA,
DIRECTOR

CIVIL ENGINEER
KIMLEY-HORN
355 ALHAMBRA CIR #1400, CORAL GABLES, FL
33134
TEL: (305) 673-2025
CONTACT: ALBERTO HERRERA, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN
355 ALHAMBRA CIR #1400, CORAL GABLES, FL
33134
TEL: (305) 673-2025
CONTACT: GEORGE PUIG, P.L.A.

STRUCTURAL ENGINEER
KIMLEY-HORN
1920 WEKIVA WAY
SUITE 200
WEST PALM BEACH, FL 33411
TEL: (561)-845-0665
CONTACT: CASEY LONG, P.E.

ELECTRICAL ENGINEER
KIMLEY-HORN
214 OCEANSIDE DR
NASHVILLE, TN 37204
TEL: (615)-564-2701
CONTACT: BRYAN LARSEN

VICINITY MAP
NTS

BID SET
ITB 2022-001
FM#440846



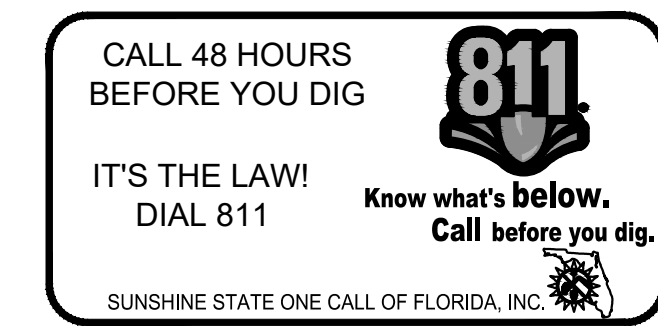
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355 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134
PHONE: 305-673-2025
WWW.KIMLEY-HORN.COM REGISTRY 696

Sheet List Table	
Sheet Number	Sheet Title
L-000	COVER SHEET
L-100	EXISTING CONDITIONS
L-200	TREE MITIGATION
L-250	TREE MITIGATION NOTES AND DETAILS
L-300	HARDSCAPE PLAN
L-350	HARDSCAPE DETAILS
L-351	HARDSCAPE DETAILS
L-352	HARDSCAPE DETAILS
L-400	LANDSCAPE PLAN
L-450	LANDSCAPE NOTES AND DETAILS
L-451	LANDSCAPE NOTES AND DETAILS
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L-550	IRRIGATION NOTES AND DETAILS
L-551	IRRIGATION NOTES AND DETAILS
L-552	IRRIGATION NOTES AND DETAILS
L-553	IRRIGATION NOTES AND DETAILS

Sheet List Table	
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C-301	EROSION CONTROL PLAN AND DETAILS
C-400	PAVING & GRADING PLAN
C-401	DRAINAGE PLAN
C-402	PAVING, GRADING, AND DRAINAGE DETAILS
C-500	WATER AND IRRIGATION PLAN

Sheet List Table	
Sheet Number	Sheet Title
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E-101	ELECTRICAL PLAN
E-102	ELECTRICAL PLAN
L-650	LIGHTING DETAILS
R2	PHOTOMETRICS PLAN

Sheet List Table	
Sheet Number	Sheet Title
S-100	STRUCTURAL PLAN
S-101	STRUCTURAL DETAILS



THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.



90% FDOT ERC COMMENTS	11/5/2021		
FINAL FDOT ERC COMMENTS	12/23/2021		
100% FDOT ERC COMMENTS	02/18/2022		
No.	REVISIONS	DATE	BY

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KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	GF	CU	CHECKED BY	GF	DATE
043138022	12/23/2021								

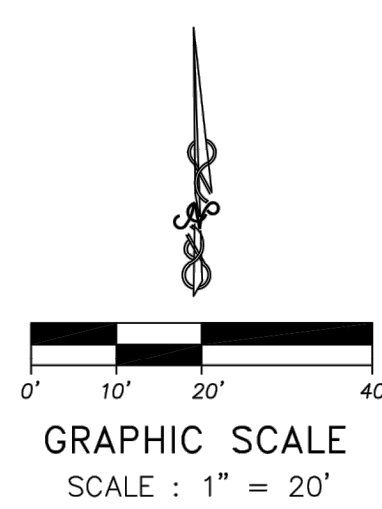
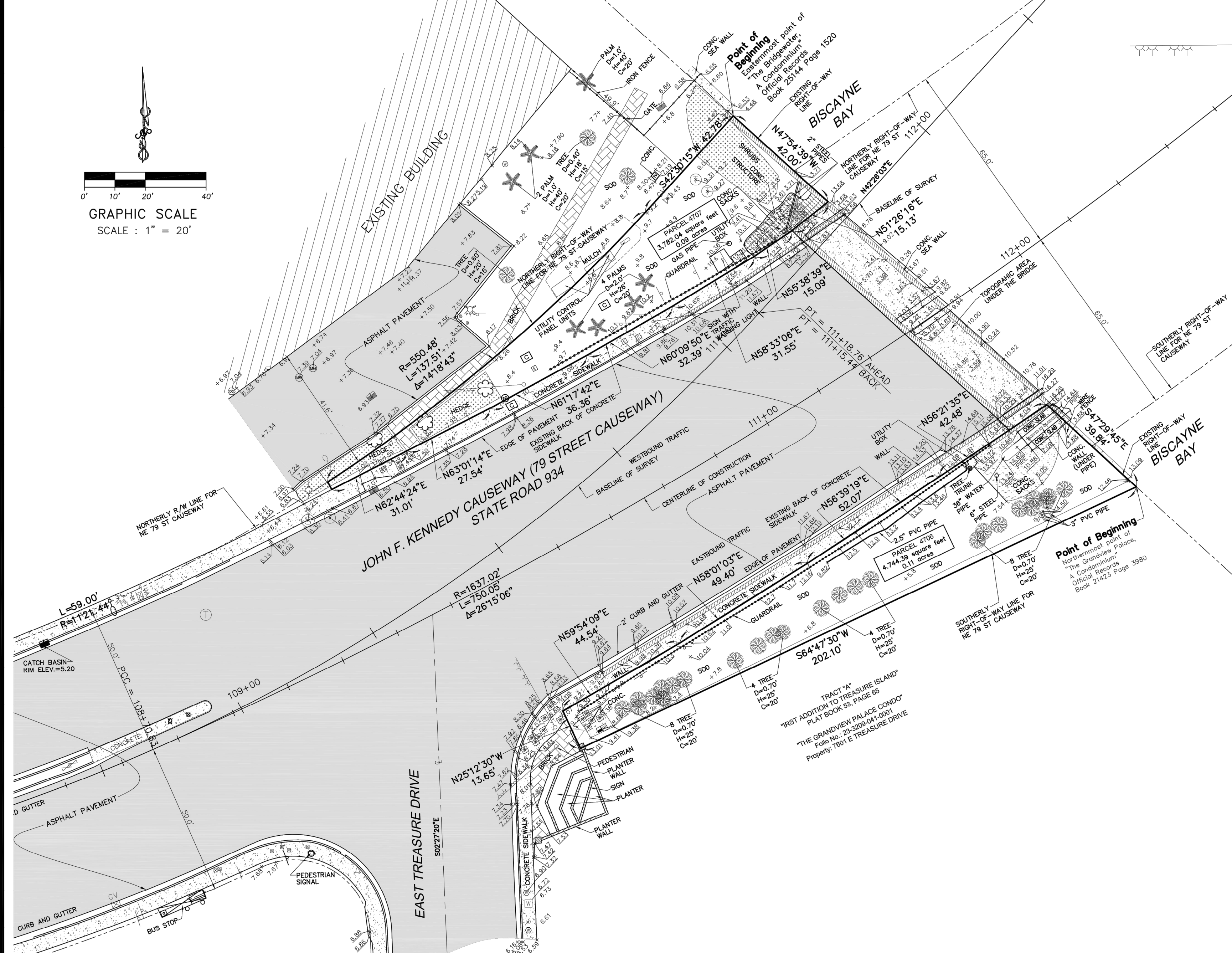
FM #440846 FINAL PLANS FOR REVIEW
COVER SHEET

BAYWALK PLAZA
PREPARED FOR
NORTH BAY VILLAGE
MIAMI-DADE COUNTY FL

SHEET NUMBER
L-000

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MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY



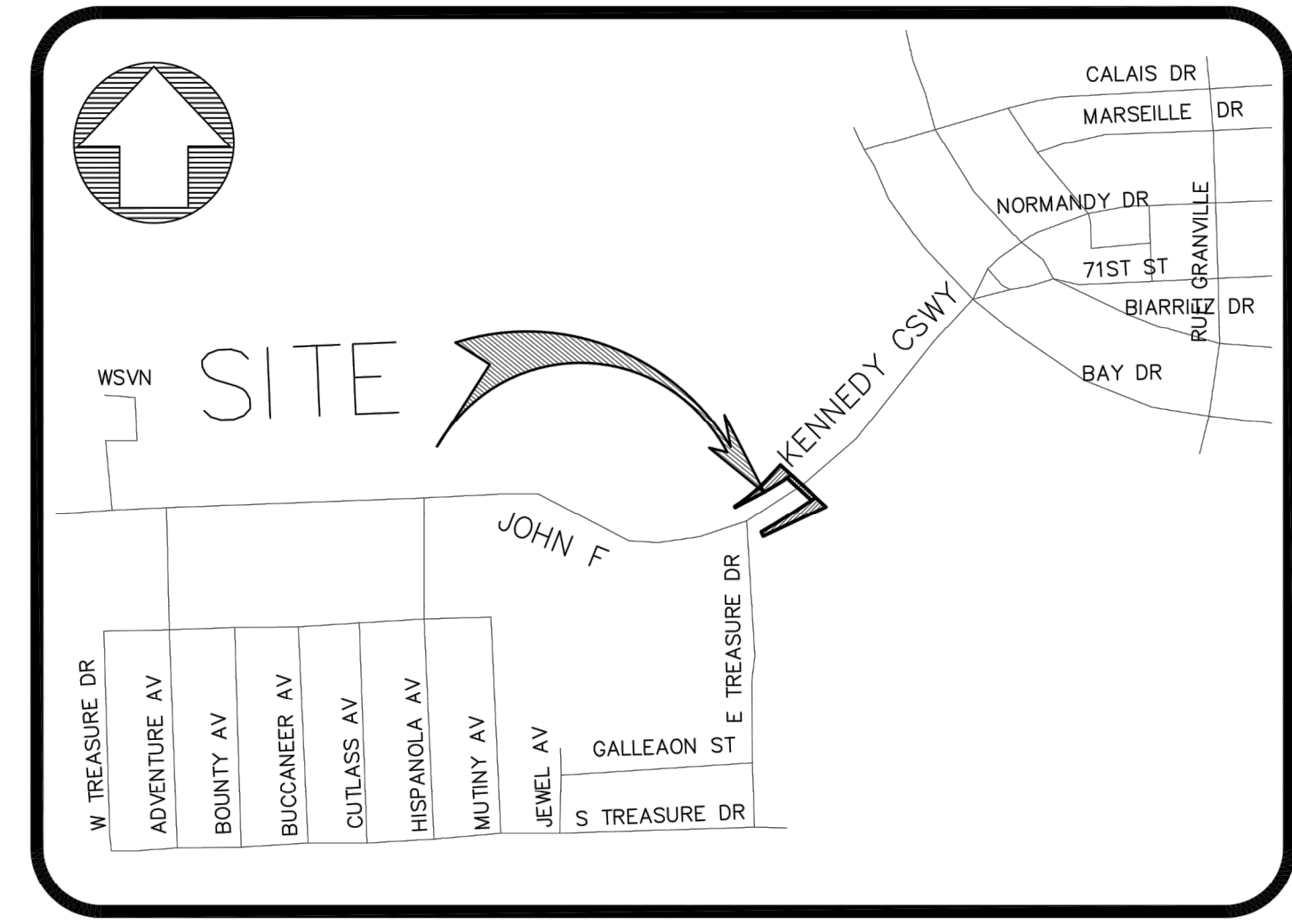
LEGEND

- Signal Mat Arm
- Gate Valve
- Catch Basin
- Unknown Manhole
- Cleanout Valve
- Metal Light Pole
- Guy Wire
- Utility Pole
- Fire Hydrant
- Water Meter
- Electric Box
- Telephone Box
- Sewer Manhole
- Traffic Sign
- Traffic Utility Box
- Drainage Manhole
- Overhead Utility Lines
- Wired Fence
- Wood Fence
- Light Pole
- Sewer Valve
- Water Valve
- Electric Manhole
- Telephone Manhole
- Unknown Manhole
- Bollard Post
- Fire Hydrant
- Spot Elevation
- T.B.M. - Temporary Benchmark
- Diameter-Height-Spread
- Lot Corner
- Tree (Species unknown)
- Palm Tree
- Ornamental Tree
- Communication Utility Box
- Fiber Optic Pvc Post
- Cable Utility Box
- Traffic Signal Pole
- Traffic Signal Pole

ABBREVIATIONS

- R/W Right-of-Way Line
- P/L Property Line
- I.D. Identification
- C.S. Concrete Slab
- CL Center Line
- M Monument Line
- B. Book
- P.B. Plat Book
- PG. Page
- ASPH. Asphalt
- TYP. Typical
- F.F.E. Finish Floor Elevation
- A/C Air Conditioner

SECTION 9 - TOWNSHIP 53 SOUTH - RANGE 42 EAST



LOCATION MAP
NOT TO SCALE

Elevations shown hereon are derived, refer and shown in National Geodetic Vertical Datum 1929 (NGVD).

Benchmark Identification:
Miami-Dade County Benchmark: DOT BM
Elevation: 15.55 feet (National Geodetic Vertical Datum)
Location:
79th Street CSWY
Treasure Island & Normandy Isle-Bridge Between.

Dot Brass Disc in Sidewalk in S.W. Corner of Bridge.

SECTION 5) LIMITATIONS:

Since no other information were furnished other than what is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

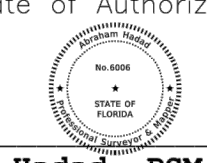
This Boundary and Topographic Survey was prepared at the insistence of and certified to:

KIMLEY HORN

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary and Topographic Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary and Topographic Survey" meets the intent of the applicable provisions of the "Minimum Technical Standards for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

HADONNE CORP., a Florida Corporation
Florida Certificate of Authorization Number LB7097



By: **Abraham Hadad, PSM**
For the Firm
Registered Surveyor and Mapper LS6006
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

- The date of completion of original field Survey was on July 16, 2014.
- The date of completion of update field Survey was on August 31, 2021.

SECTION 2) LEGAL DESCRIPTION:

A parcel of land in Section 9, Township 53 South, Range 42 East, lying and being in Miami-Dade County, Florida, more particularly described as follows:

Beginning at the Easternmost Point of "The Bridgewater, A Condominium" recorded in Official Records Book 25144 Page 1520, of the Public Records of Miami-Dade County, Florida, which said point also lying on the Northernly Right-of-Way line of NE 79 Street Causeway (State Road 934); thence run S42°30'15"W along the said Northernly Right-of-Way line of NE 79 Street Causeway (State Road 934), a distance of 42.78 feet to the Point of Curvature of a circular curve to the right having for its elements a radius of 550.48 feet and a central angle of 14°18'43"; thence along the arc of said curve for a distance of 137.51 feet; thence run S27°22'39"E, for a distance of 2.84 feet to the back of an existing concrete sidewalk; thence run Northeastly along the approximate location of said back of existing concrete sidewalk for the following seven (7) courses: thence run N62°44'24"E, for a distance of 31.01 feet; thence run N63°01'14"E, for a distance of 27.54 feet; thence run N61°17'42"E, for a distance of 36.36 feet; thence run N60°09'50"E, for a distance of 32.39 feet; thence run N58°33'06"E, for a distance of 31.55 feet; thence run N55°38'39"E, for a distance of 15.09 feet; thence run N51°26'16"E, for a distance of 15.13 feet; thence departing said sidewalk, run N47°54'39"W, for a distance of 42.00 feet to the Point of Beginning.
Containing 3782.04 square feet, 0.09 acres more or less by calculations.

And

A parcel of land in Section 9, Township 53 South, Range 42 East, lying and being in Miami-Dade County, Florida, more particularly described as follows: Beginning at the Northernmost Point of "The Grandview Palace, A Condominium" recorded in Official Records Book 21423 Page 3980, of the Public Records of Miami-Dade County, Florida, which said point also lying on the Southerly Right-of-Way line of NE 79 Street Causeway (State Road 934); thence run S64°47'30"W along the said Southerly Right-of-Way line of NE 79 Street Causeway (State Road 934), a distance of 202.10 feet; thence run N25°12'30"W, for a distance of 13.65 feet to the back of an existing concrete sidewalk; thence run Northeastly along the approximate location of said back of existing concrete sidewalk for the following four (4) courses: thence run N59°54'09"E, for a distance of 44.54 feet; thence run N58°01'03"E, for a distance of 49.40 feet; thence run N56°39'19"E, for a distance of 52.07 feet; thence run N56°21'35"E, for a distance of 42.48 feet; thence departing said sidewalk, run S47°29'45"E, for a distance of 39.84 feet to the Point of Beginning.
Containing 4744.39 square feet, 0.11 acres more or less by calculations.

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Minimum Technical Standards requirement for Commercial/High Risk area (Linear: 1 foot in 10,000 feet) as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of One inch equals Twenty feet or smaller.

SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Southerly Right-of-Way Line of N.W. 79th Street Causeway with an assumed bearing of S64°47'30"W, said line to be considered a well established and monumented line.

This property appears to be located in Flood Zone "AE", Elevations 9.0 & 10.0 as per Federal Emergency Management Agency (FEMA) Community Number 120654 (City of North Bay Village), Map Panel No. 12086C0307, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client.

Plat of "FIRST ADDITION TO TREASURE ISLAND", recorded in Plat Book 53, Page 65, Miami-Dade County Records.



HADONNE
LBT097
PROFESSIONAL LAND SURVEYORS AND MAPPERS
1985 NW, 88th Court, Suite 100, Doral, Florida, 33172
phone: 305.266.1188 fax: 305.207.6845 www.hadonne.com

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY
for
KIMLEY HORN
of
KENNEDY CAUSEWAY, NORTH BAY VILLAGE, FL.

REVISIONS	
1-REVISION (8-28-2014)	
2-UPDATE (8-31-2021)	
3-	
4-	
5-	
6-	
7-	
8-	
9-	
10-	
11-	
12-	
13-	
14-	
15-	
16-	
17-	
18-	
19-	
Job No.	11208/21110
Drawn	MG
Checked	RI
Scale	AS SHOWN
Field Book/FILE	
1/1	

90% FDOT ERC COMMENTS	11/5/2021	
FINAL FDOT ERC COMMENTS <td>12/23/2021</td>	12/23/2021	
100% FDOT ERC COMMENTS <td>02/18/2022</td>	02/18/2022	
No.	REVISIONS	DATE

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PHONE: 941-379-7600
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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
043138022	12/23/2021	AS SHOWN	GF	CU	GF

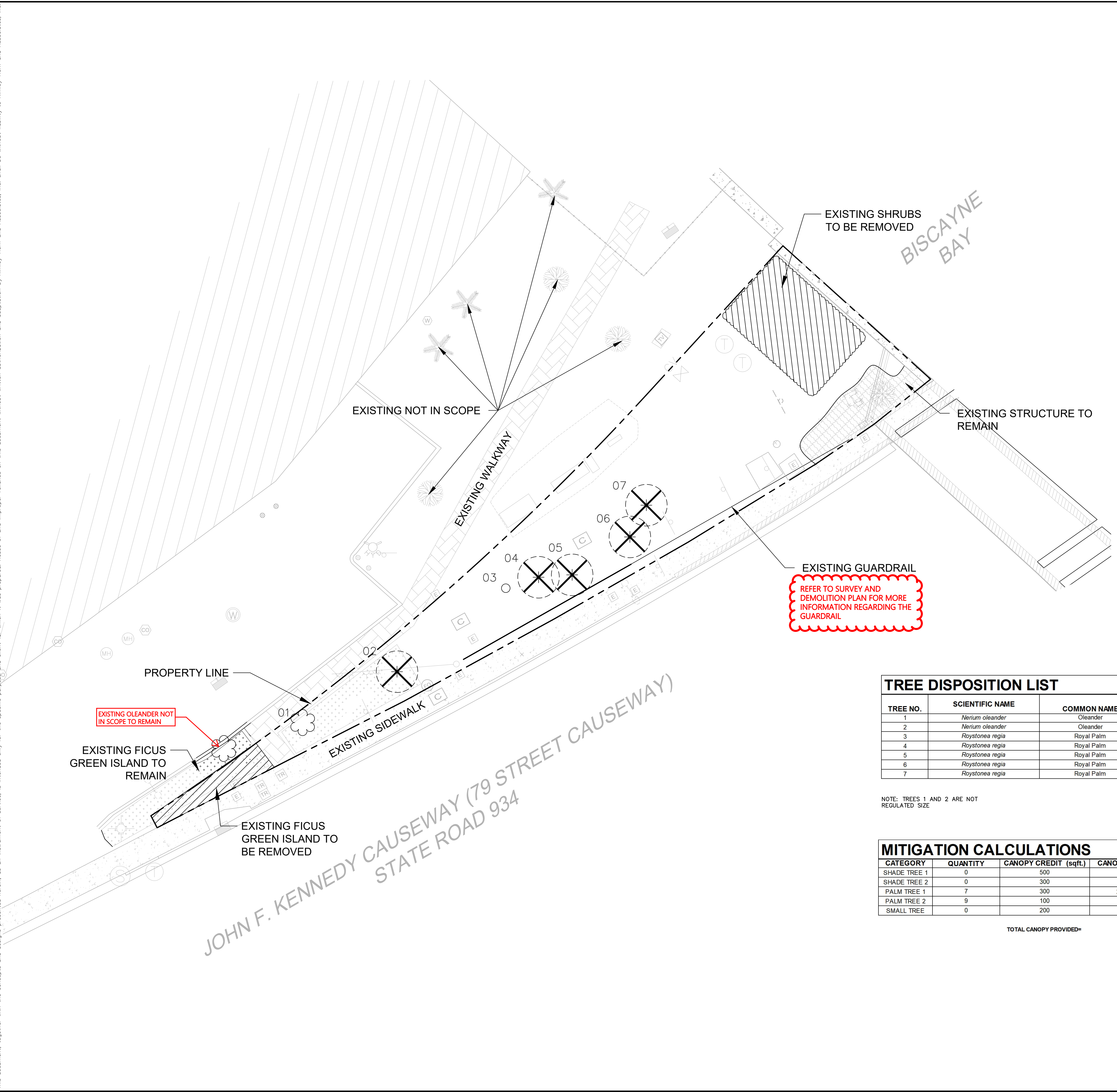
EXISTING
CONDITIONS

BAYWALK PLAZA
PREPARED FOR
NORTH BAY VILLAGE

SHEET NUMBER
L-100



Plotted By: Mison, Brenton. Street: Sct: BAYWALK PLAZA. Layout: L-200. February 16, 2022. 11:27:50am. \\kimley-horn.com\j...misa\BIB-URG-043138022-baywalk plaza area design\landscape\CADD\plansheets\BAYWALK Plaza North Side\1-200_TREE MITIGATION_043138022.dwg
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TREE MITIGATION LEGEND

- EXISTING NOT IN SCOPE
- EXISTING TREE TO BE REMAIN
- EXISTING TO BE REMOVED
- TREE NO LONGER EXISTS
- EXISTING TREE CANOPY SPREAD

- NOTES:
- SEE CIVIL PLANS FOR SILT FENCING LOCATIONS & DETAILS.
 - CONTRACTOR SHALL COORDINATE PHASING OF TREE MITIGATION / PROTECTION PLANS TO ENSURE THAT TREES TO REMAIN ARE FULLY PROTECTED.
 - SEE SHEET L-250 FOR TREE MITIGATION NOTES AND DETAILS.

ROYAL PALMS CANNOT BE RELOCATED ON-SITE AS THERE IS NO AVAILABLE HOLDING AREA BECAUSE THE ENTIRE SITE IS BEING IMPROVED.

REFER TO SURVEY AND DEMOLITION PLAN FOR MORE INFORMATION REGARDING THE GUARDRAIL

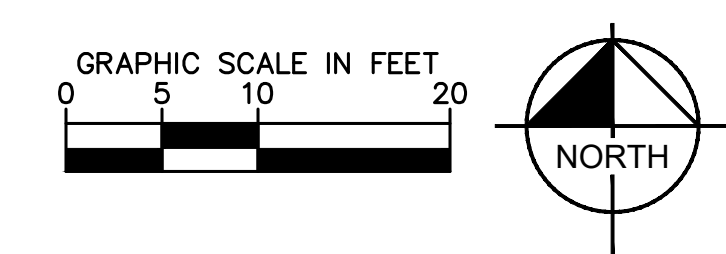
TREE DISPOSITION LIST

TREE NO.	SCIENTIFIC NAME	COMMON NAME	HEIGHT OA. (FT)	SPREAD	DBH (IN.)	CONDITION	ACTION	MITIGATION
1	<i>Nerium oleander</i>	Oleander	n/a	n/a	n/a	n/a	REMAIN	0
2	<i>Nerium oleander</i>	Oleander	n/a	n/a	n/a	n/a	REMOVE	0
3	<i>Roystonea regia</i>	Royal Palm	n/a	n/a	n/a	n/a	n/a	0
4	<i>Roystonea regia</i>	Royal Palm	26'	20'	24"	n/a	REMOVE	314
5	<i>Roystonea regia</i>	Royal Palm	26'	20'	24"	n/a	REMOVE	314
6	<i>Roystonea regia</i>	Royal Palm	26'	20'	24"	n/a	REMOVE	314
7	<i>Roystonea regia</i>	Royal Palm	26'	20'	24"	n/a	REMOVE	314

NOTE: TREES 1 AND 2 ARE NOT REGULATED SIZE

MITIGATION CALCULATIONS

CATEGORY	QUANTITY	CANOPY CREDIT (sqft.)	CANOPY (sqft.)
SHADE TREE 1	0	500	0
SHADE TREE 2	0	300	0
PALM TREE 1	7	300	2100
PALM TREE 2	9	100	900
SMALL TREE	0	200	0
TOTAL CANOPY PROVIDED=			3,000.00



No.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/5/2021	
2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/18/2022	

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LICENSED PROFESSIONAL	DATE	SCALE	AS SHOWN	DESIGNED BY	GF	CHECKED BY	CU
	12/23/2021						
KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	GF	CHECKED BY	CU
043138022	12/23/2021						

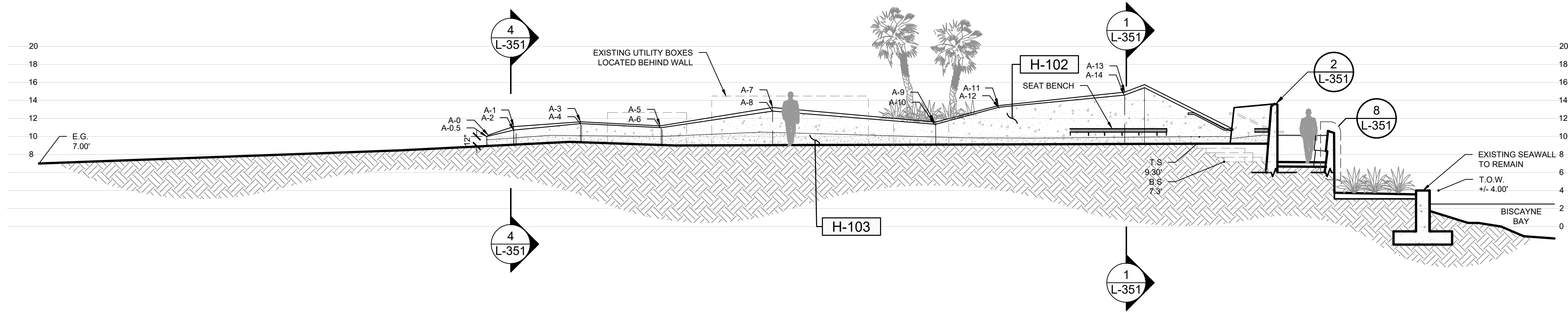
TREE MITIGATION

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 MIAMI-DADE COUNTY, FL

SHEET NUMBER
L-200

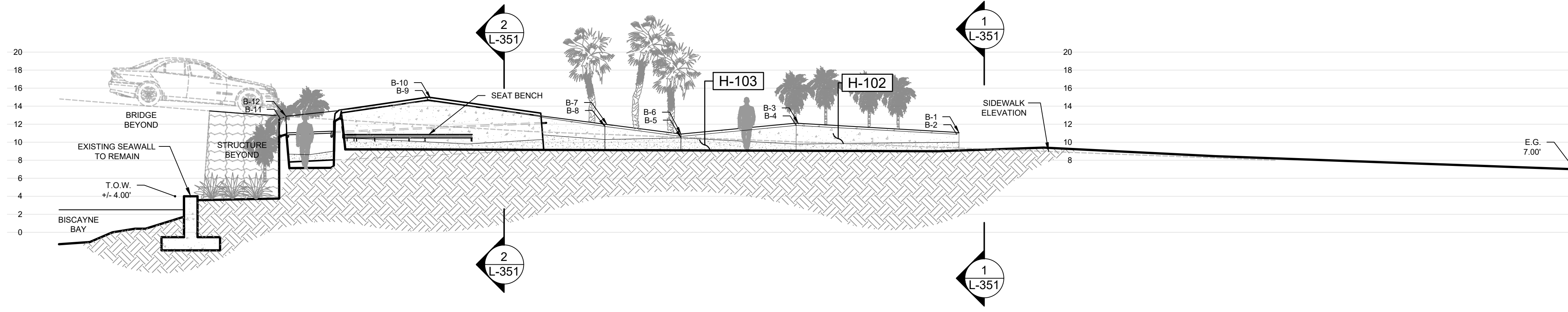
Call 811 or www.sunshine11.com for business days before digging to know what's located and marked.

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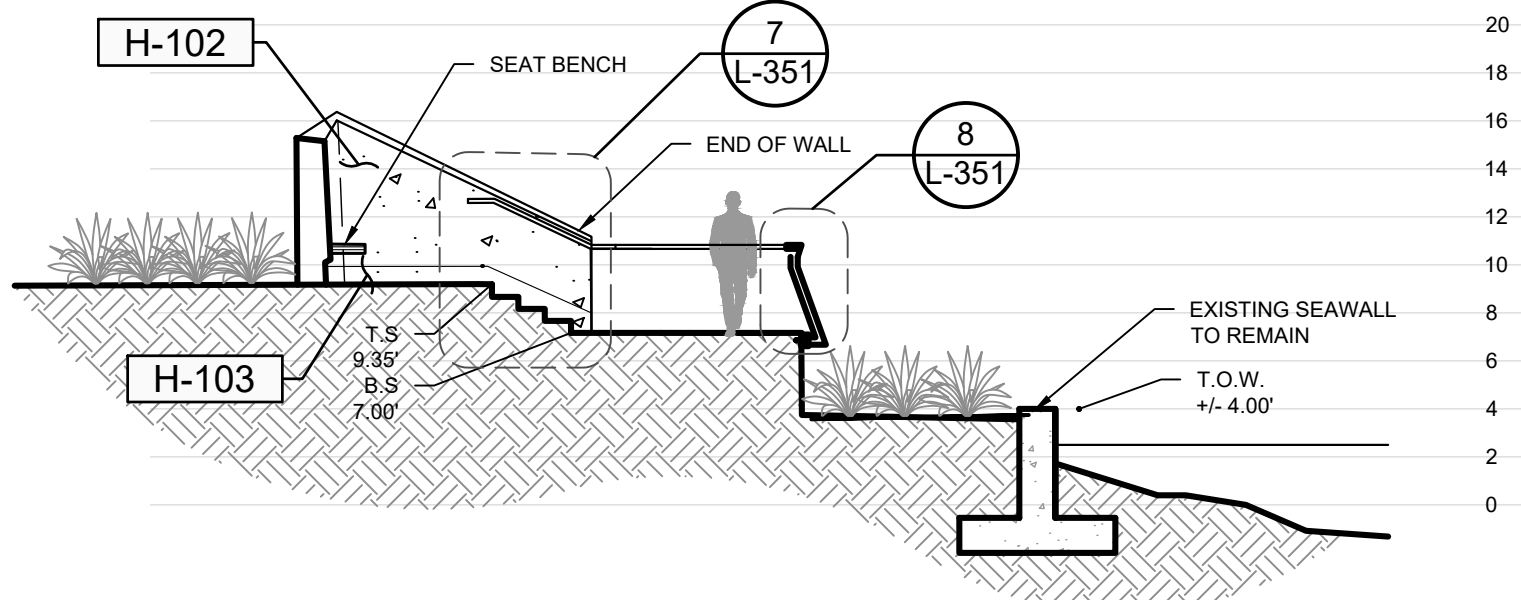
1 WALL SECTION A-A
 1/8" = 1'-0"

043-138-022-65



2 WALL SECTION B-B
 1/8" = 1'-0"

043-138-022-66



3 WALL SECTION C-C
 1/8" = 1'-0"

043-138-022-67

HARDSCAPE SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
H-101	CONCRETE WITH 3/8"-1/4" LIMESTONE AGGREGATE. PROVIDE HEAVY SANDBLAST TO EXPOSE LIMESTONE. PROVIDE GRAY ACID STAIN BY L.M. SCOFIELD OR EQUAL. SUBMIT COLOR SAMPLE FOR APPROVAL.		3/L-351
H-102	CONCRETE WITH 3/8"-1/4" LIMESTONE AGGREGATE. PROVIDE LIGHT SANDBLAST TO EXPOSE LIMESTONE.		3/L-351
H-103	CONCRETE WITH 1/4" LIMESTONE AGGREGATE. PROVIDE HEAVY SANDBLAST TO EXPOSE LIMESTONE. PROVIDE DARK GRAY ACID STAIN BY L.M. SCOFIELD OR EQUAL. SUBMIT COLOR SAMPLE FOR APPROVAL.		3/L-351

WALL A

POINT #	TOP OF WALL A.F.F. / ELEVATION	TOP OF WALL A.F.F. / ELEVATION
A-0	1.55 / 10.8	1.00 / 10.25
A-1	2.00 / 11.40	-
A-2	-	1.55 / 10.95
A-3	3.00 / 12.25	-
A-4	-	2.55 / 11.8
A-5	2.00 / 11.30	-
A-6	-	1.55 / 10.85
A-7	4.00 / 13.4	-
A-8	-	3.55 / 12.95
A-9	3.00 / 12.4	-
A-10	-	2.55 / 11.95
A-11	2.00 / 11.4	-
A-12	-	1.55 / 10.95
A-13	4.00 / 13.4	-
A-14	-	3.55 / 12.95
A-15	6.00 / 15.35	-
A-16	-	5.55 / 14.9
A-17	4.00 / 11	-
A-18	-	3.55 / 10.55

WALL B

POINT #	TOP OF WALL A.F.F. / ELEVATION	TOP OF WALL A.F.F. / ELEVATION
B-1	2.00 / 11.30	-
B-2	-	1.55 / 10.55
B-3	3.00 / 11.4	-
B-4	-	2.55 / 11.95
B-5	1.55 / 10.95	-
B-6	-	2.00 / 11.4
B-7	4.00 / 13.3	-
B-8	-	3.55 / 12.85
B-9	5.55 / 13.88	-
B-10	-	6.00 / 14.33
B-11	4.55 / 12.2	-
B-12	-	5.00 / 12.65
B-13	4.00 / 10.9	-
B-14	-	3.55 / 10.45
B-15.5	4.00 / 11	-
B-16.5	-	3.55 / 10.55
B-15	3.55 / 12.9	-
B-16	-	4.00 / 13.35
B-17	4.55 / 12.15	-
B-18	-	5.00 / 12.6
B-19	6.00 / 14.33	-
B-20	-	5.55 / 13.88
B-21	3.55 / 12.85	-
B-22	-	4.0 / 13.30

FROM RAMP ELEVATION
 FROM RAMP ELEVATION
 FROM RAMP ELEVATION
 FROM RAMP ELEVATION
 FROM RAMP ELEVATION
 FROM RAMP ELEVATION

REFER TO CIVIL ENGINEERING PLANS FOR ALL GRADING RELATED INFORMATION & STRUCTURAL ENGINEER DRAWINGS FOR ALL WALLS AND STRUCTURAL ELEMENTS.

NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/5/2021	
2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/18/2022	

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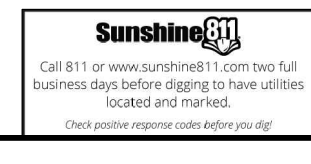
LICENSED PROFESSIONAL

KHA PROJECT	DATE
043138022	12/23/2021
SCALE	AS SHOWN
DESIGNED BY	GF
DRAWN BY	CJ
CHECKED BY	GF
DATE:	

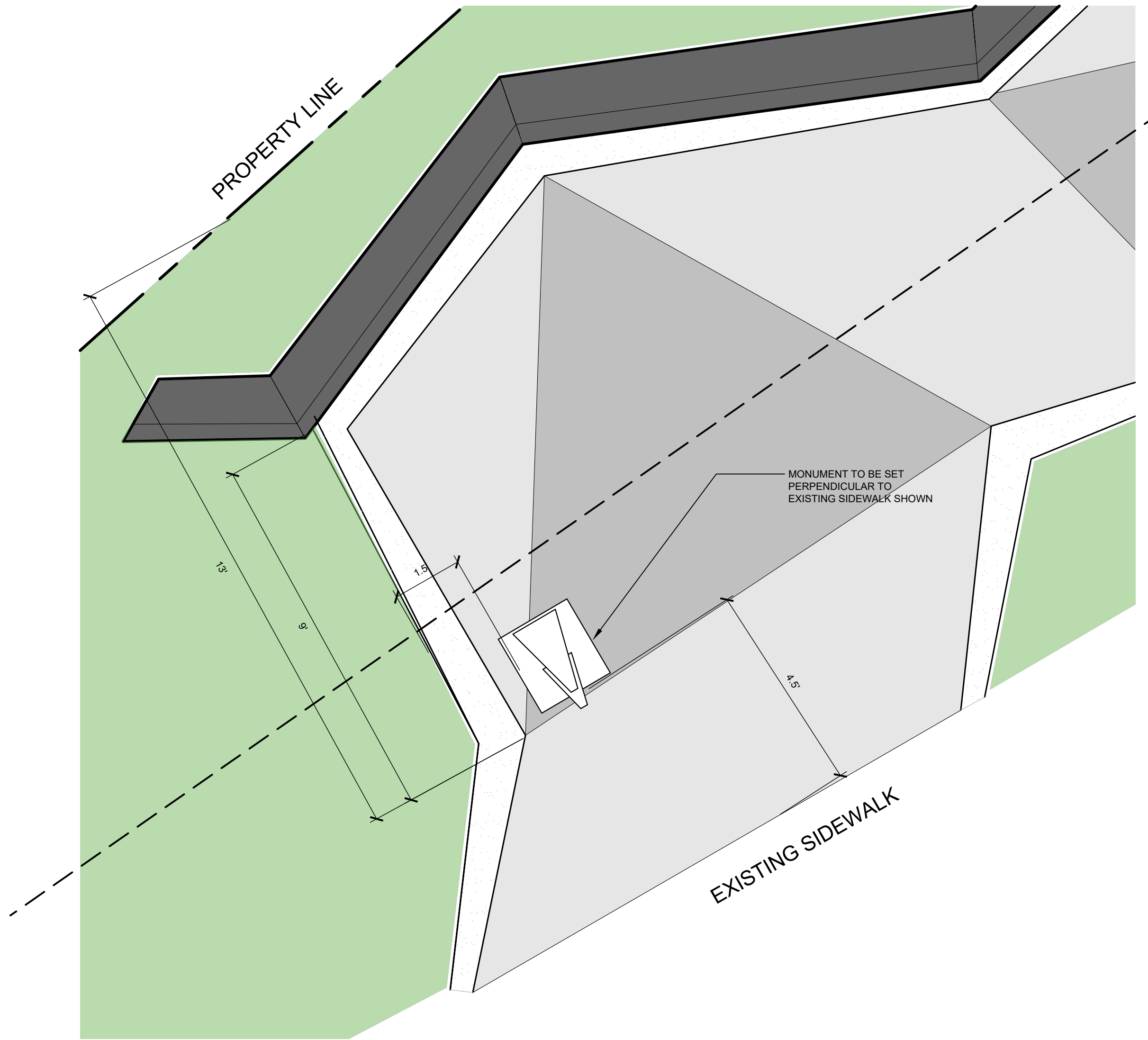
FM #440846 FINAL PLANS FOR REVIEW
HARDSCAPE DETAILS

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 MIAMI-DADE COUNTY

SHEET NUMBER
L-350

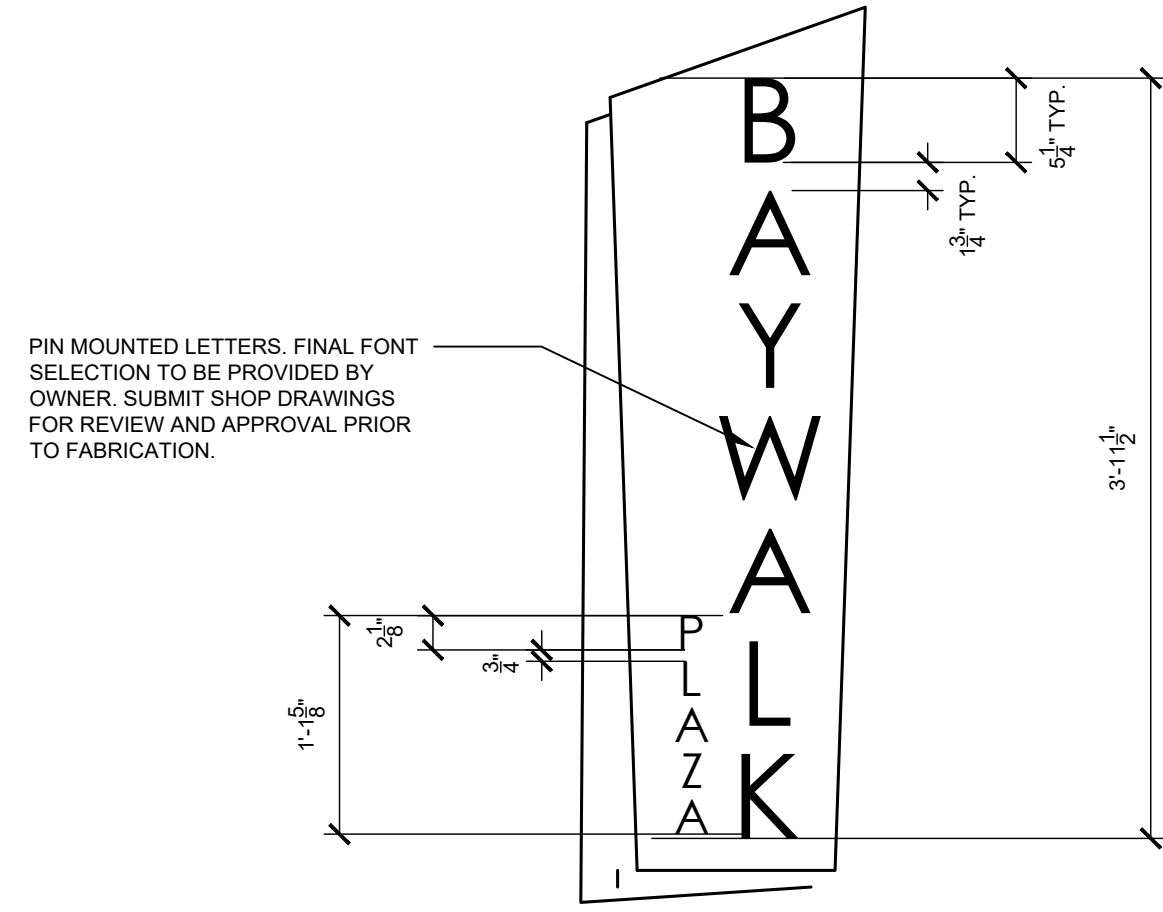


Plotted By: Mison, Brenton, Street: Set: BAYWALK PLAZA, Layout: L-352, February 16, 2022, 11:29:06am, \\kimley-horn.com\l_m\mib\URG\043138022_baywalk_plaza_area_design\landscape\CADD\plansheets\BAYWALK_PLAZA_AREA_DESIGN\LANDSCAPE_DETAILS_043138022.dwg
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NOTE:
CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO COMMENCING ANY WORK.

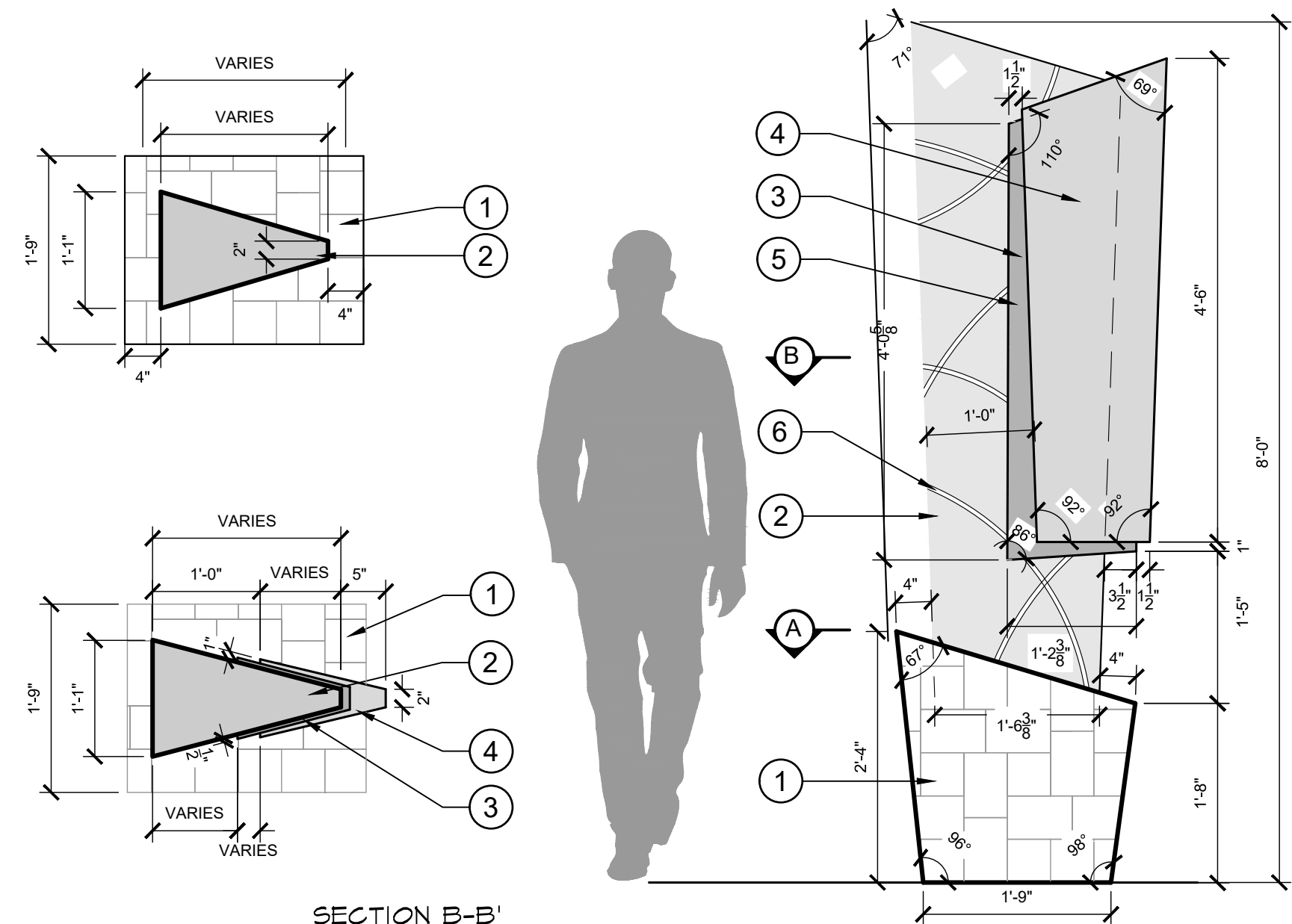
3 NORTH PYLON MONUMENT SIGN ENLARGEMENT PLAN
1/2" = 1'-0"



NOTE: MONUMENT SIGNS ARE DOUBLE SIDED. PIN MOUNTED LETTERING TO BE INSTALLED ON BOTH SIDES OF PYLON.

1 NORTH PYLON MONUMENT SIGN LETTERING
SHEET

1" = 1'-0"
043-138-022-84



- 1 1'-9" X 1'-9" TAPERED CONCRETE BASE WITH 1" THICK KEYSTONE VENEER. VENEER TO BE APPLIED IN ASHLAR PATTERN. ALL EXPOSED EDGES SHALL RECEIVE 1/4" BULLNOSE
- 2 TAPERED WHITE CONCRETE PYLON
- 3 PAINTED METAL PANEL WITH FLUSH MOUNTED LETTERING
- 4 PAINTED METAL PANEL WITH FLUSH MOUNTED LETTERING
- 5 SIGNAGE COPY AREA. SEE I-352/2
- 6 LED LIGHT STRIP (TYP). PROVIDE 50% BLUE AND 50% GREEN LIGHTS.

NOTES:
 1. DETAIL IS DESIGN INTENT ONLY.
 2. ALL MATERIALS TO BE SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 3. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS SHALL INCLUDE FOOTING AND STRUCTURAL DESIGN OF ALL RELATED MONUMENT SIGN COMPONENTS.
 4. CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS AS NECESSARY.
 5. KEYSTONE VENEER TO MATCH FINISH OF KEYSTONE VENEER USED ON THE PRIVACY WALLS ALONG THE WESTERN PORTION OF JFK CAUSEWAY RIGHT-OF-WAY LANDSCAPE.

2 NORTH PYLON MONUMENT SIGN DETAIL
SHEET

3/4" = 1'-0"
043-138-022-58

90% FDOT ERC COMMENTS	11/5/2021
FINAL FDOT ERC COMMENTS	12/23/2021
100% FDOT ERC COMMENTS	02/18/2022
No.	REVISIONS
	DATE
	BY



LICENSED PROFESSIONAL	
KHA PROJECT	043138022
DATE	12/23/2021
SCALE	AS SHOWN
DESIGNED BY	GF
DRAWN BY	CJ
CHECKED BY	GF
	DATE:

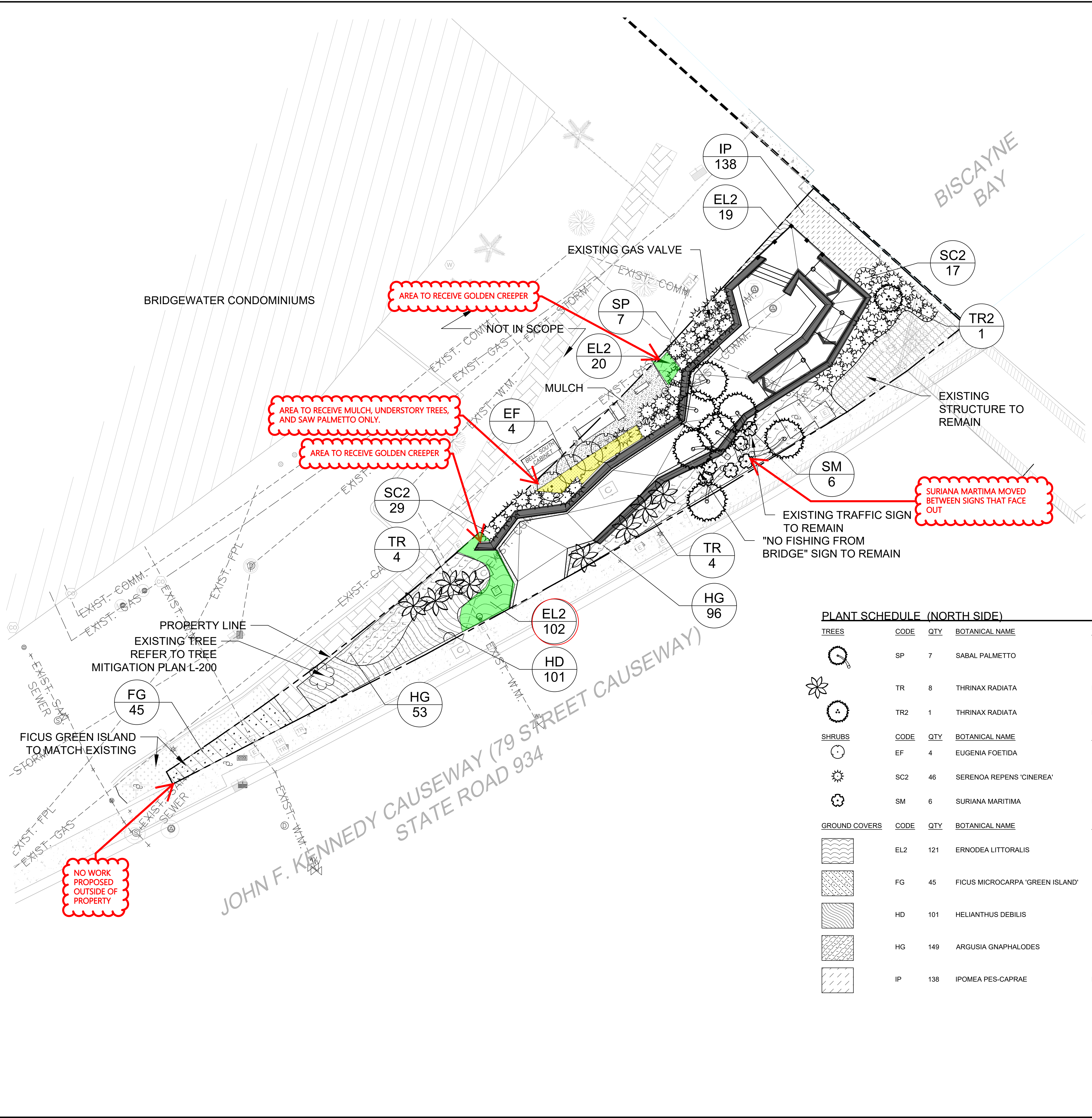
FM #440846 FINAL PLANS FOR REVIEW
HARDSCAPE DETAILS

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 MIAMI-DADE COUNTY, FL

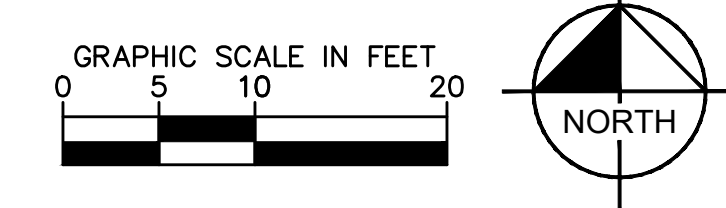
SHEET NUMBER
L-352



Plotted By: Mison, Brenton. Street: BAYWALK PLAZA. Layout: L-400. February 16, 2022. 11:44:00am. \\misa\mison\work\2022\02\BAYWALK PLAZA LANDSCAPE PLAN L-400.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HT.	NATIVE	REMARKS
	SP	7	SABAL PALMETTO	CABBAGE PALM	CONT.	HEAVY	16' - 25' CT.	YES	CURVED TRUNK, STAGGERED HEIGHTS
	TR	8	THRINAX RADIATA	FLORIDA THATCH PALM	CONT.	-	6' - 8' OA HT	YES	
	TR2	1	THRINAX RADIATA	FLORIDA THATCH PALM	CONT.	-	5' CT	YES	TRIPLE TRUNK
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE	NATIVE	REMARKS
	EF	4	EUGENIA FOETIDA	SPANISH STOPPER	CONT.	SEE PLAN	6' - 8' HT	YES	MULTI TRUNK BUSH FORM
	SC2	46	SERENOA REPENS 'CINEREA'	SILVER SAW PALMETTO	CONT.	SEE PLAN	2' HT	YES	
	SM	6	SURIANA MARITIMA	BAY CEDAR	CONT.	SEE PLAN	4' HT	YES	MULTI TRUNK BUSH FORM
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE	NATIVE	REMARKS
	EL2	121	ERNODEA LITTORALIS	GOLDEN CREEPER	CONT.	12" O.C.	15" HT	YES	
	FG	45	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	CONT.	18" O.C.	18" HT	YES	
	HD	101	HELIANTHUS DEBILIS	BEACH SUNFLOWER	CONT.	18" O.C.	15" HT	YES	
	HG	149	ARGUSIA GNAPHALODES	SEA LAVENDER	CONT.	18" O.C.	18" HT	YES	
	IP	138	IPOMEA PES-CAPRAE	RAILROAD VINE	CONT.	12" O.C.	6" HT	YES	



NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/5/2021	
2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/18/2022	

Kimley-Horn
 LICENSED PROFESSIONAL
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 2601 CATTLEMAN ROAD, SUITE 200, SARASOTA, FL 34232
 PHONE: 941-379-7600
 WWW.KIMLEY-HORN.COM CA 00000696

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	GF	CHECKED BY	GF	DATE
043138022	12/23/2021							

FM #440846 FINAL PLANS FOR REVIEW
LANDSCAPE PLAN

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 MIAMI-DADE COUNTY, FL
SHEET NUMBER L-400



Plotted By: Mike, Brenton, Street: Sait-BAYWALK PLAZA, LAYOUT-451 February 16, 2022 11:29:52am Kimley-Horn.com V:\mto\MIB-URC\043138022_baywalk plaza area design\landscapes\CADD\plantings\BAYWALK PLAZA AREA DESIGN LANDSCAPE NOTES AND DETAILS-043138022.dwg
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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- A. SCOPE OF WORK
1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

- B. PROTECTION OF EXISTING STRUCTURES
1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

- C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCH CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCH CALIPER.

- D. MATERIALS
1. GENERAL

MATERIAL	SUBMITTAL
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC. CLIENT REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.
FERTILIZER	PRODUCT DATA
INNOCULANT	PRODUCT DATA
HERBICIDE	PRODUCT DATA

2. PLANT MATERIALS
- a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
 - b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
 - c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

- E. SOIL MIXTURE
1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 50% COARSE SAND AND 50% FLORIDA PEAT, AS DESCRIBED BELOW.
 2. SOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL HAVE A PH BETWEEN 5.5 AND 7.0. - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 3. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TEST FOR THE SOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
 4. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 5. CONTRACTOR SHALL PROVIDE PH TEST RESULT FOR ALL MIX COMPONENTS.
 6. CONTRACTOR SHALL PROVIDE PENETROMETER ON-SITE AT ALL TIMES FOR COMPACTION INSPECTION AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
 7. PENETROMETER CRITERIA / SPECIFICATION SHALL RANGE FROM APPROX. 75 PSI TO LESS THAN 300 PSI OR AS DETERMINE BY LANDSCAPE ARCHITECT.
 8. SOIL SHALL BE SUPPLIED BY ATLAS PEAT & SOIL INC. 9621 STATE RD, BOYNTON BEACH, FLORIDA 33472. PHONE: 561-734-7300 OR APPROVED EQUAL.
 9. FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE THAN 110 POUNDER PER CUBIC FOOT WHEN COMPACTED TO 85% STANDARDS PROCTOR.

- F. WATER
1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS TRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
 2. CONTRACTOR SHALL INSURE ALL PLANT MATERIAL RECEIVES APPROPRIATE WATER THROUGHOUT THE GUARANTEE PERIOD SO PLANT MATERIAL THRIVES AND ESTABLISHES READILY.
 3. CONTRACTOR SHALL SUBMIT A WATERING SCHEDULE FOR WRITTEN APPROVAL BY THE CLIENT.
- *WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- G. FERTILIZER
1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- *FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- H. MULCH
1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: "FLORIMULCH" OR SHREDDED, STERILE EUCALYPTUS MULCH.

- I. DIGGING AND HANDLING
1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 2. BALLED AND BURLAPPED PLANTS (BBB) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
 4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
 5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

- J. CONTAINER GROWN STOCK
1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.
 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
 4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

- K. COLLECTED STOCK
1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

- L. NATIVE STOCK
1. PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

- M. MATERIALS LIST
1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

- N. FINE GRADING
1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

- O. PLANTING PROCEDURES
1. 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.
 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 5. GENERAL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLOWED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
 10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
 11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
 13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
 14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
 16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.
 17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

- P. LAWN SODDING
1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 4. SODDING

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - b. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
 - c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS. A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
 6. LAWN MAINTENANCE:
 - a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
 - b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

- Q. CLEANUP
1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

- R. PLANT MATERIAL MAINTENANCE
1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

- S. MAINTENANCE (ALTERNATE BID ITEM)
1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

- T. FINAL INSPECTION AND ACCEPTANCE OF WORK
1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

- U. WARRANTY
1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
 2. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
 3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

90% FDOT ERC COMMENTS	11/5/2021	REVISIONS	DATE
FINAL FDOT ERC COMMENTS	12/23/2021		
100% FDOT ERC COMMENTS	02/18/2022		
No.			

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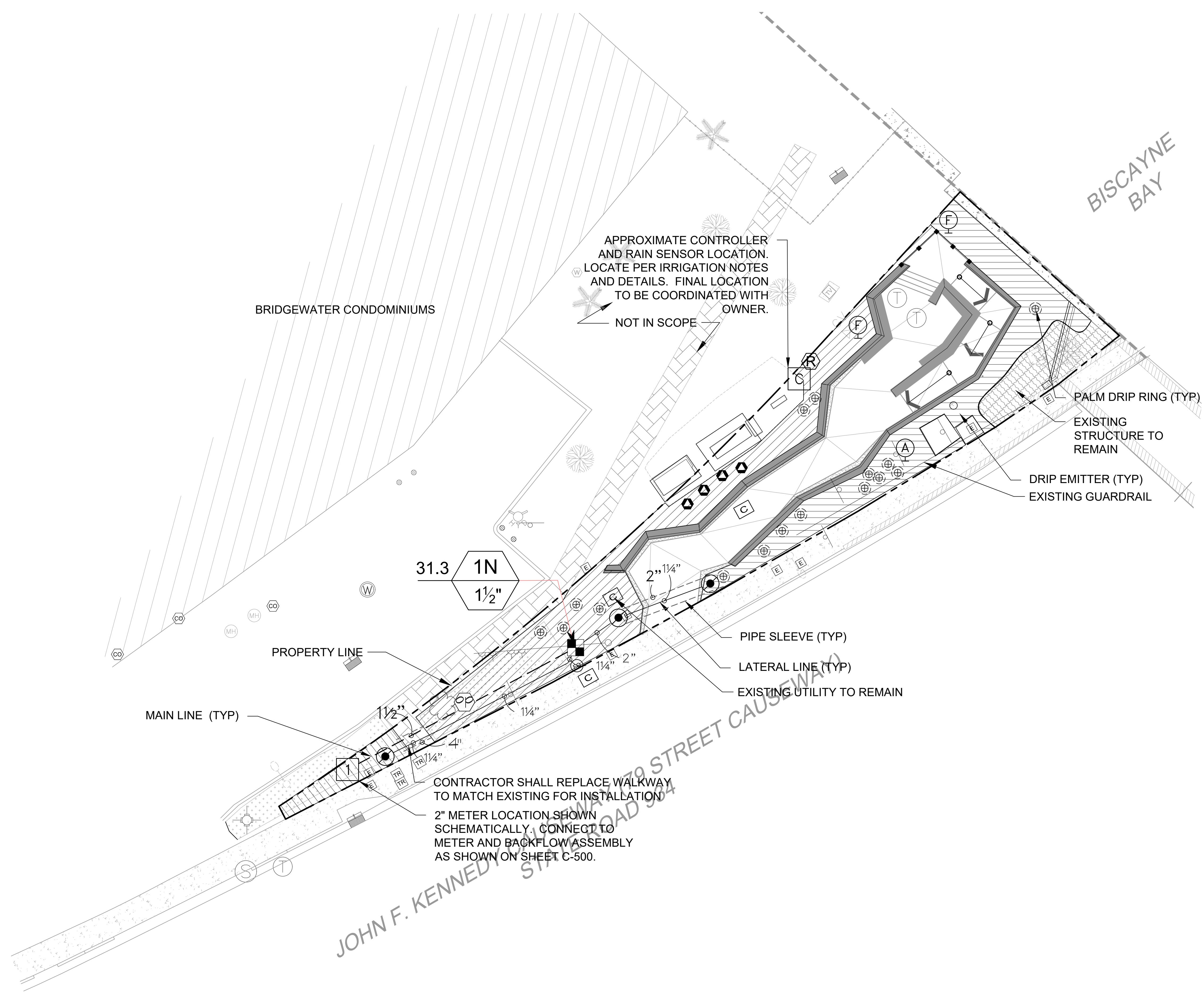
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KHA PROJECT	043138022
DATE	12/23/2021
SCALE	AS SHOWN
DESIGNED BY	GF
DRAWN BY	CU
CHECKED BY	GF
DATE:	

FM #440846 FINAL PLANS FOR REVIEW
LANDSCAPE NOTES AND DETAILS

BAYWALK PLAZA
PREPARED FOR
NORTH BAY VILLAGE
MIAMI-DADE COUNTY



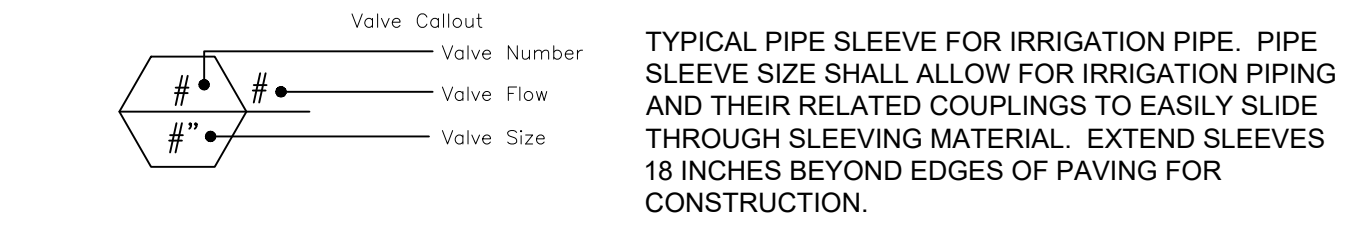
Plotted By: Mison, Brenton. Street: Sct: BAYWALK PLAZA. Layout: L-500. February 16, 2022. 11:29:57am. \\misa\mib\URG-043138022_baywalk_plaza_area_design\landscape\CADD\plansheets\BAYWALK PLAZA North Side L-500_IRRIGATION_PLAN_043138022.dwg
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IRRIGATION SCHEDULE: NORTH SIDE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-150-PRB-COM HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2" PESB VALVE WITH TWO 1" PRESSURE REGULATING (40PSI) QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-40GPM.	1
⊙	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" (150MM) DRIP BOX.	3
⊕	RAIN BIRD MDCFCAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	2
Ⓐ	RAIN BIRD ARV050 1/2" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS. WITH A 6.0" DRIP VALVE BOX (SEB 7XB EMITTER BOX). USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	1
⊕	RAIN BIRD OPERIND DRIP SYSTEM OPERATION INDICATOR. STEM RISES 6" FOR CLEAR VISIBILITY WHEN DRIP SYSTEM IS CHARGED TO A MINIMUM OF 20PSI. INCLUDES 16" OF 1/4" DISTRIBUTION TUBING WITH CONNECTION FITTING PRE-INSTALLED.	1
⊙	LARGE TREE DRIP RING EMITTERS CONTRACTOR TO PROVIDE FOUR (4) RAINBIRD PC DIFF SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS WITH SELF-PIERCING BARB INLET AND DIFFUSER CAP. FLOW RATE: 24GPH=ORANGE.	4
⊕	SMALL TREE/ PALM DRIP EMITTER CONTRACTOR TO PROVIDE TWO (2) RAINBIRD PC DIFF SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS WITH SELF-PIERCING BARB INLET AND DIFFUSER CAP. FLOW RATE: 24GPH=ORANGE.	16
▨	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-P-09-18 (18) XFS SUB-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9GPH EMITTERS AT 18.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. PURPLE TUBING FOR NON-POTABLE WATER.	1,683 S.F.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
ⓐ	RAIN BIRD ESP4ME WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL APPLICATIONS.	1
Ⓡ	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	1
Ⓧ	WATER METER 2"	1
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 +/- 73.0 L.F.	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40 +/- 50.7 L.F.	
---	PIPE SLEEVE: PVC SCHEDULE 40 AS NEEDED	



VALVE SCHEDULE: NORTH SIDE

NUMBER	MODEL	SIZE	TYPE	GPM
1N	RAIN BIRD XCZ-150-PRB-COM	1-1/2"	AREA FOR DRIPLINE	31.32

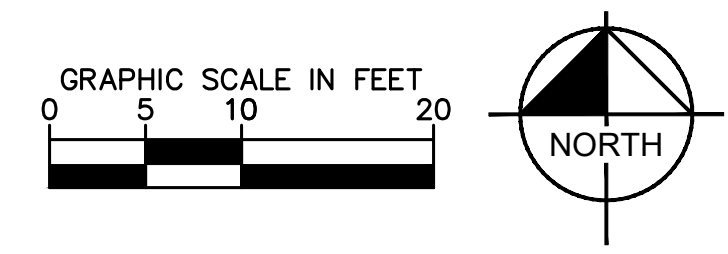
NO.	REVISIONS	DATE	BY
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2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/18/2022	

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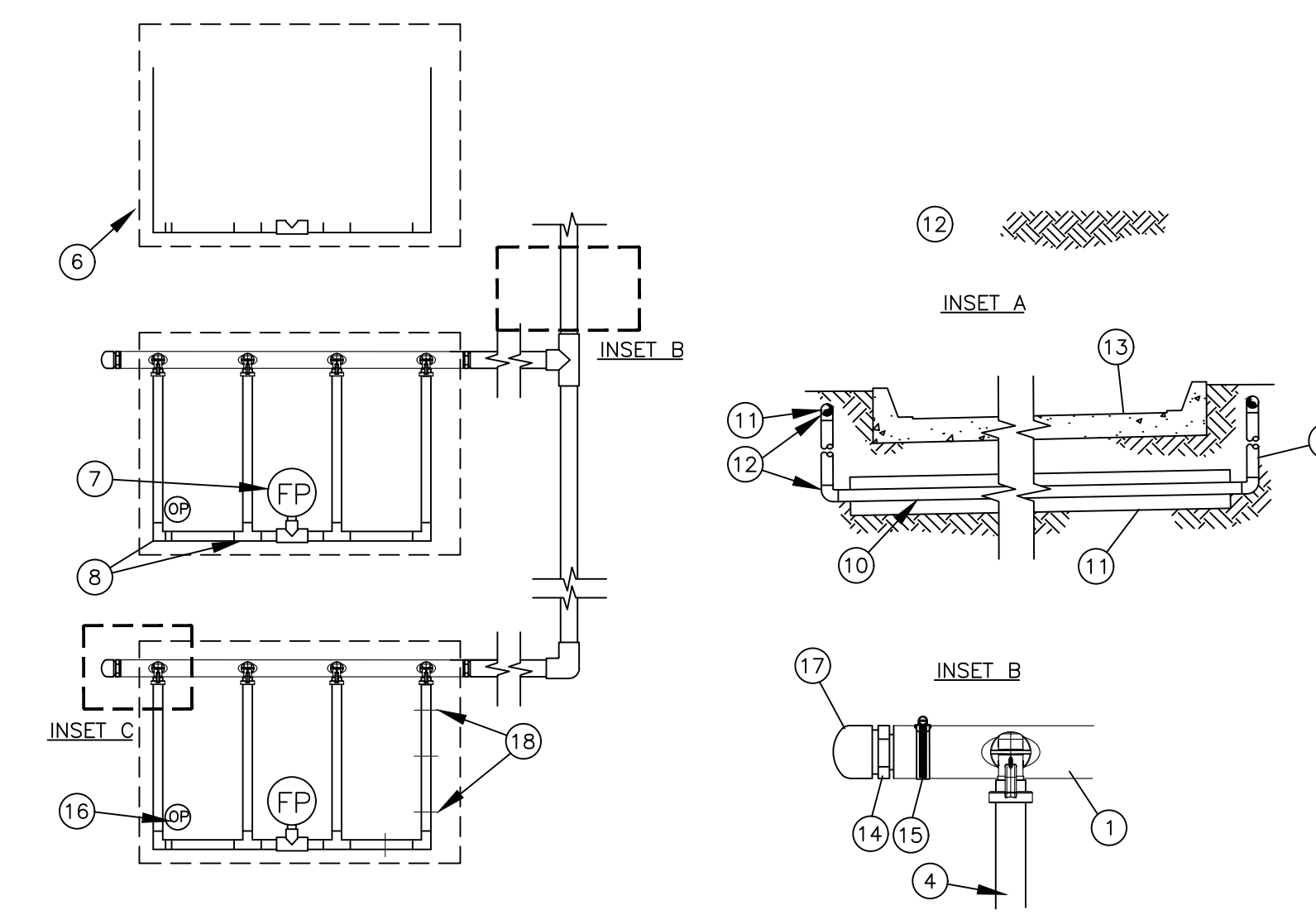
LICENSED PROFESSIONAL	DATE
	12/23/2021
KHA PROJECT	SCALE
043138022	AS SHOWN
	DESIGNED BY
	GF
	CHECKED BY
	CU
	DATE
	GF

FM #440846 FINAL PLANS FOR REVIEW
IRRIGATION PLAN

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 MIAMI-DADE COUNTY, FL
 SHEET NUMBER
L-500



Plotted By: Mison, Brenton. Street: S: BAYWALK PLAZA, Layout: L-551. February 16, 2022. 11:30:29am. \\kimley-horn.com\l_miso\mib_urg\043138022_baywalk_plaza_area_design\landscaps\CADD\plansheets\Baywalk_Plaza_North_Side_SSD_IRRIGATION_NOTES_AND_DETAILS_043138022.dwg
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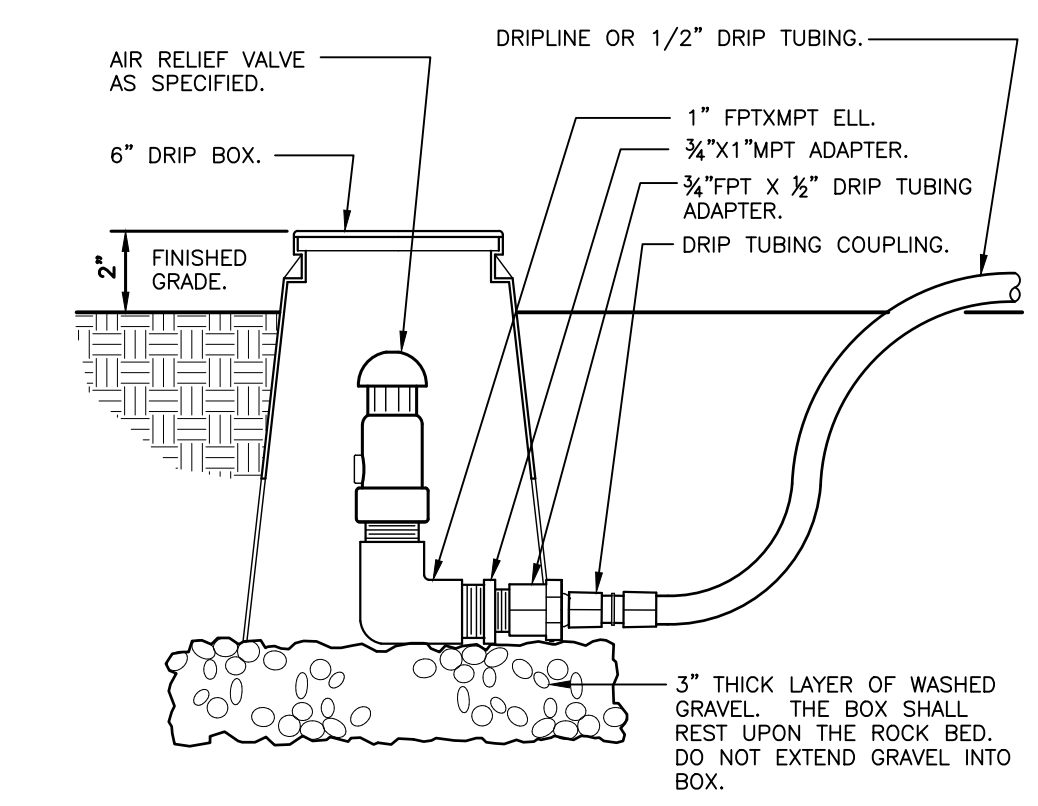
1 TYPICAL DRIPLINE LAYOUT REQUIREMENTS
NOT TO SCALE

- QF-SUPPLY HEADER
 PRE-INSTALLED BARB FITTING
 PVC DRIP MANIFOLD FROM RAIN BIRD CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- RAIN BIRD XFS SERIES DRIPLINE (TYPICAL)
 - PERIMETER OF AREA
 - PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
 - FLUSH POINT (TYPICAL) - SEE RAIN BIRD XFD DETAILS FOR FLUSH POINT INSTALLATION
 - BARB X BARB INSERT TEE OR ELL
 - RAIN BIRD XFF-TEE OR RAIN BIRD XFF-ELBOW (TYPICAL)
 - PVC RISER PIPE
 - PVC SUPPLY MANIFOLD
 - PVC SCH 40 SLEEVE PIPE SIZED TWICE THE SIZE OF MANIFOLD PIPE SIZE
 - PVC SCH 40 TEE OR ELL (TYPICAL)
 - PAVEMENT AND CURB
 - MALE ADAPTER INSERT
 - STAINLESS STEEL, OETIKER OR MURRAY CLAMP
 - OPERATION INDICATOR RAIN BIRD MODEL: OPERIND
 - PVC SCH 40 CAP
 - XF SERIES TIE-DOWN STAKES (TDS-050) REFER TO RAIN BIRD DRIPLINE DESIGN GUIDE FOR PROPER SPACING

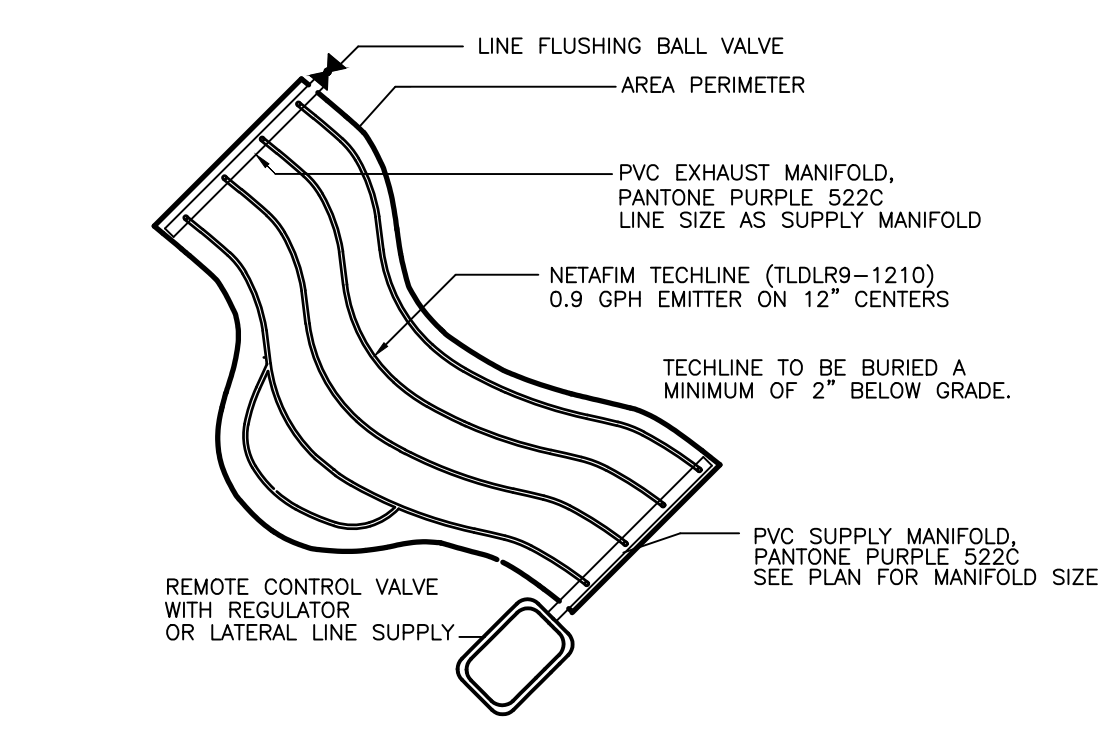
XFS Dripline Maximum Lateral Lengths (Feet)

Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)
15	0.6	0.9	0.6	0.9	0.6	0.9
20	273	155	314	250	424	322
30	318	169	353	294	508	368
40	360	230	413	350	586	414
50	395	255	465	402	652	474
60	417	285	528	420	720	488
60	460	290	596	455	780	514

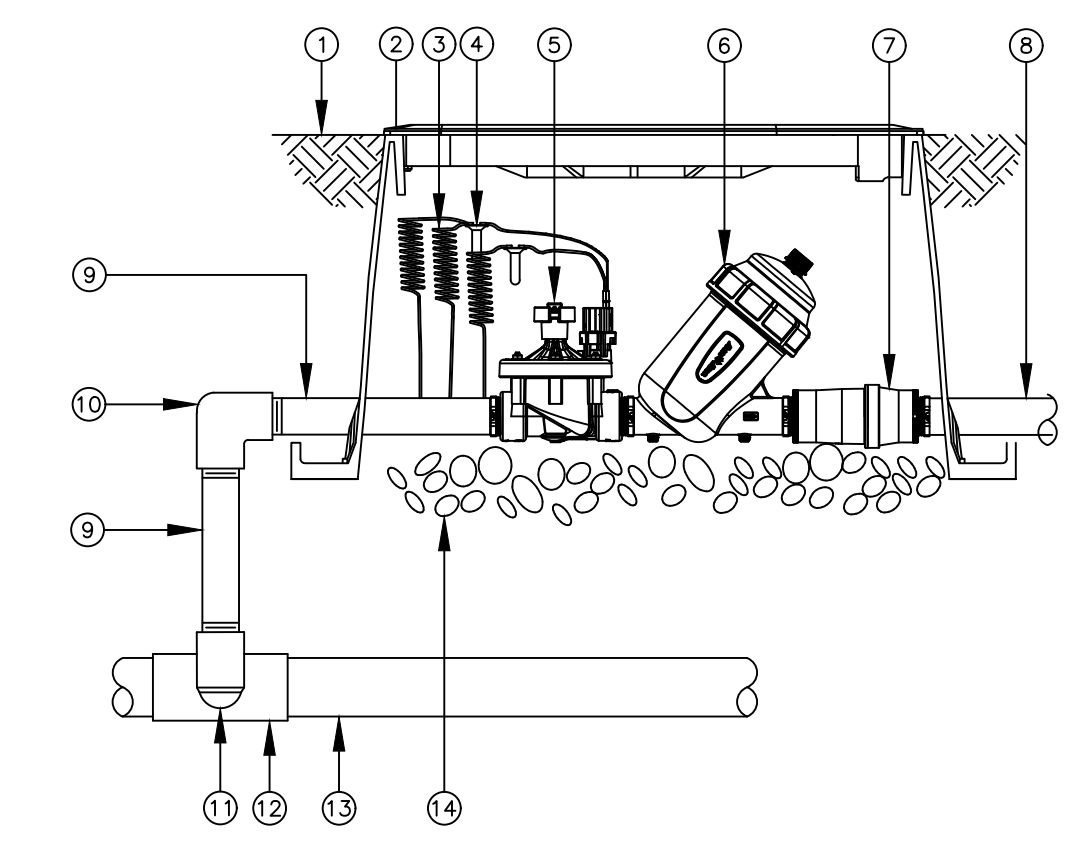
- NOTES:
- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 - LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 - PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 - AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.



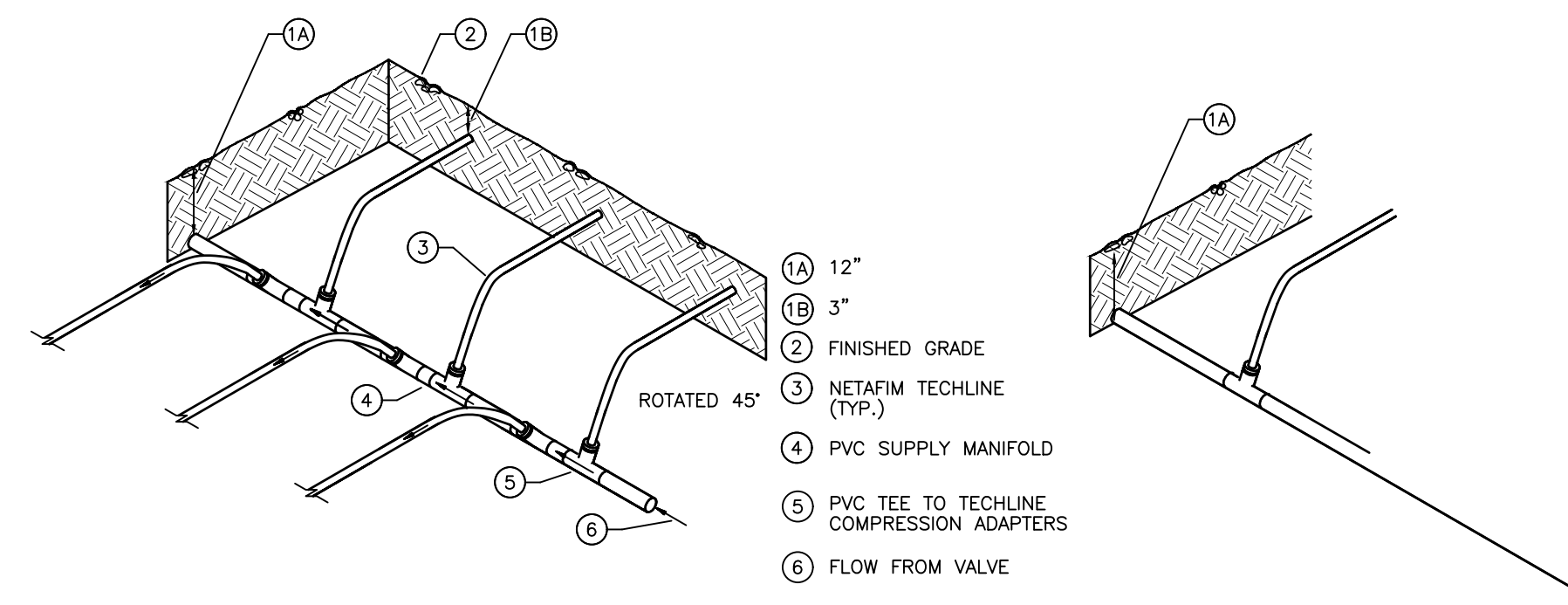
2 DRIP AIR RELIEF VALVE IN BOX
3" = 1'-0" 32 8413.53-03



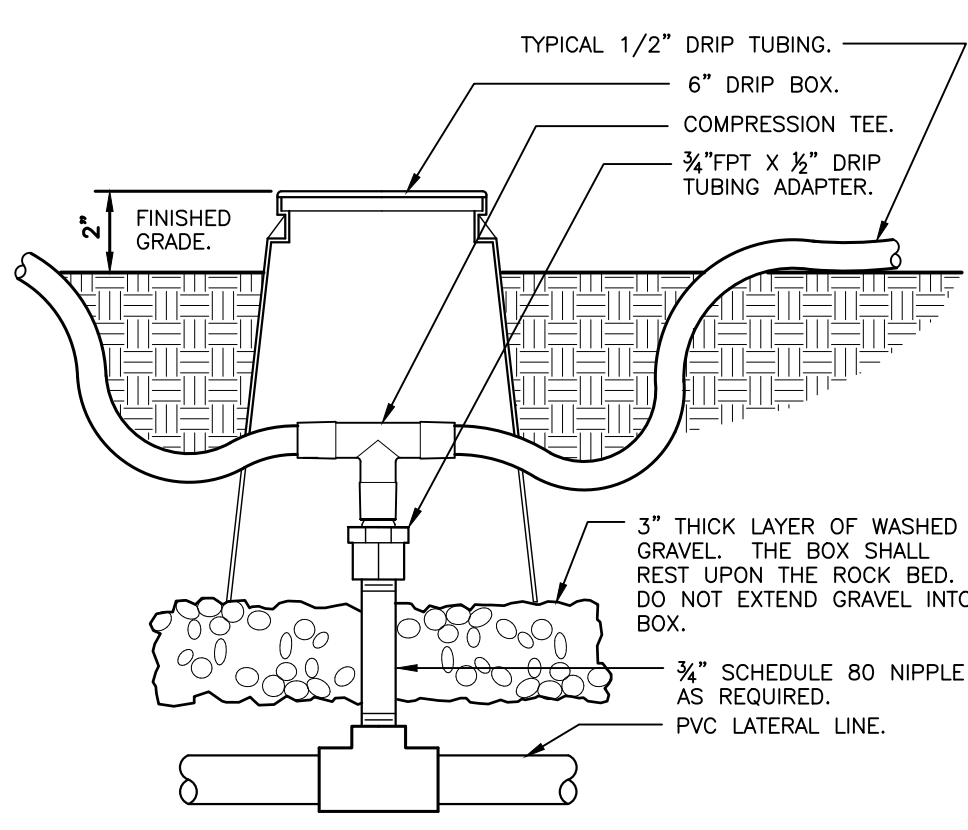
3 IRREGULAR AREAS
NOT TO SCALE



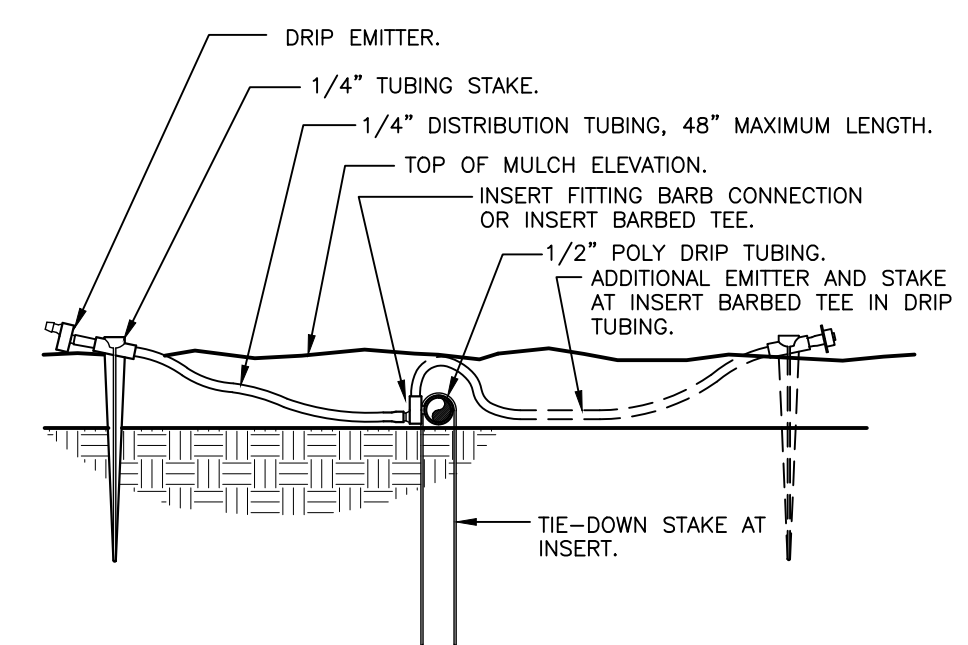
4 DRIP ZONE CONTROL VALVE KIT IN JUMBO VALVE BOX



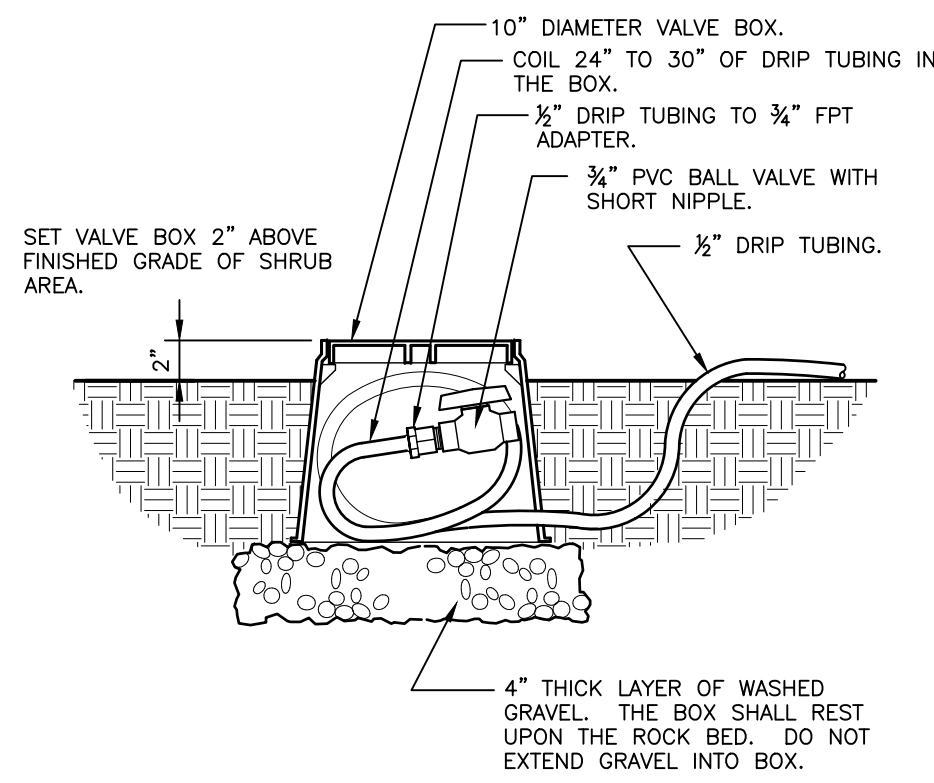
5 LATERAL TO DRIP FEED DETAILS
NOT TO SCALE



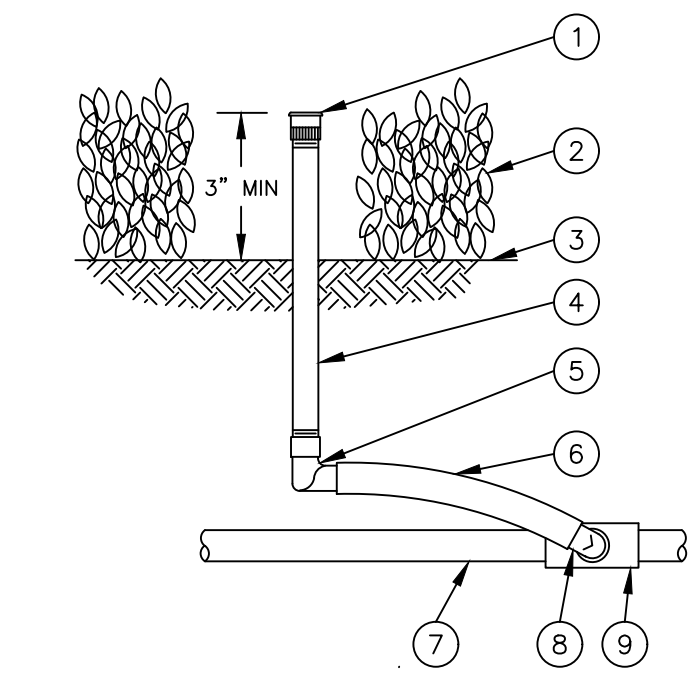
6 ZONE CONTROL
3" = 1'-0" 32 8413.46-03



7 DRIP EMITTER AT 1/4" TUBING
3" = 1'-0" 32 8413.13-13



8 DRIP FLUSH VALVE
1 1/2" = 1'-0" 32 8413.49-03



9 TREE RING BUBBLER
3/4" = 1'-0" 043-138-022-73

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90% FDOT ERC COMMENTS 11/5/2021
 FINAL FDOT ERC COMMENTS 12/23/2021
 100% FDOT ERC COMMENTS 02/18/2022

LICENSED PROFESSIONAL
 KHA PROJECT 043138022
 DATE 12/23/2021
 SCALE AS SHOWN
 DESIGNED BY GF
 DRAWN BY CU
 CHECKED BY GF
 DATE:

IRRIGATION NOTES AND DETAILS

BAYWALK PLAZA
 PREPARED FOR
 NORTH BAY VILLAGE

MIAMI-DADE COUNTY FL

SHEET NUMBER
L-551

Plotted By: Nixon, Brenton, Street: Sct: BAYWALK PLAZA, Layout: L-553, February 16, 2022, 11:30:32am, Kimley-Horn.com, V:\m15\WIB-URG-043138022-baywalk plaza area design\landscape\CADD\plansheets\Baywalk Plaza North Side\L-553-IRRIGATION NOTES AND DETAILS-043138022.dwg
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2.09 AUTOMATIC CONTROL VALVE

The automatic remote control valves shall be as specified on the plans, or approved equal.

2.10 GATE VALVES

- A. Gate valves for 3/4" through 2-1/2" shall be of brass or bronze construction, solid wedge, IPS threads, non-rising stem with wheel operating handle, for a continuous working pressure of 150 PSI.
- B. Gate valves for 3" and larger: Iron body, brass or bronze mounted AWWA gate valves, with a clear waterway equal to the full nominal diameter of the valve, rubber gasket for a continuous working pressure of 150p PSI. Valve shall be equipped with a square operating nut.

2.11 VALVE BOXES

- A. For gate valves, use AMETEK #10-181-014 box with #10-181-015 locking lid, or as per the drawings.
- B. For control valves 3/4" through 2", the drip valve assemblies, use AMETEK #10-181-014 box with #10-181-015 locking lid, or sized as necessary to effectively house the equipment
- C. For control wiring splices, use AMETEK #10-181-014 box with #10-181-015 locking lid, or as per the drawings.

2.12 IRRIGATION WIRING

- A. Wiring used for connecting the electric control valves to the controllers shall be Type UF, 600 volt, single strand, solid copper with PVC insulation 4/64" thick. Size shall be 14 gauge, red for "hot" or lead wires, and common wire to be 14 gauge, white in color.
- B. Contractor shall perform an ohm test on ground to assure adequate protection against surges and indirect lightning strikes.

2.13 MISCELLANEOUS MATERIALS

- A. Drainage Backfill: Cleaned gravel or crushed stone, graded from 1" maximum to 3/4" minimum.
- B. Metalized Underground Tape: The detectable, underground utility marking tape shall consist of a minimum: 5 mil (0.005") overall thickness; five-ply composition; ultra-high molecular weight, 100% virgin polyethylene; acid, alkaline and corrosion resistant; with no less than 150 pounds of tensile break strength per 6" width; color-code impregnated with color stable, lead-free, organic pigments suitable for direct burial. Tapes utilizing reprocessed plastics or resins shall not be acceptable. The detectable, underground utility marking tape shall have a 35 gauge (0.0035") solid aluminum foil, core encapsulated within a 2.55 mil (0.00255") polyethylene backing and a 0.6 mil (0.006") PET cover coating. The laminate on each side shall consist of a 0.75 mil (0.00075") layer of hot LPDE, poly-fusing the "sandwich" without use of adhesives.

2.14 AUTOMATIC CONTROL SYSTEM

An Independent Station Controller: Furnish a solid state controller, as specified on the plans.
 Each station shall be capable of timing from zero (0) minute to 99 minutes per station in one (1) minute increments.

Each station shall be capable of operating two (2) 7VA electric valve-in-head solenoids.

The stand-alone controller shall have two (2) possible programs.

The stand-alone controller shall provide global percentage increase/decrease (water budget) for all stations simultaneously, from ten (10) to two hundred (200) percent, in ten (10) percent increments.

All stations shall be able to be turned on/off manually buy operating timing mechanism or by manual switch at station output.

The stand-alone controller shall incorporate an integral MOV surge protection into the terminal block for each of its 24 VAC field wire outputs. Controller power input wires will also incorporate surge protection.

The control panel shall provide continuous display time. It shall have alphanumeric displays of descriptive English menus and legend identifiers with cursor selection of function and precision value adjustment by rotary dial input.

The stand-alone controller shall be UL listed and FCC approved.

The stand-alone controller shall have 117 VAC, 60 Hz input, 26.5 VAC, 60 Hz output for operating 24 VAC solenoids.

The stand-alone controller cabinet shall be a lockable and weather-resistant outdoor cabinet. Mount as noted on plans.

The controller shall be equipped with lightning protection, by the Contractor, on both the primary (120v) and each secondary (24v) circuit. The controller circuits shall be grounded to a copper clad grounding rod located at each controller.

The controller shall be equipped for a water conservation device, as specified.

PART III: EXECUTION

3.01 INSPECTION

The Contractor shall examine the areas and conditions under which landscape irrigation system is to be installed and notify the Landscape Architect in writing of conditions detrimental to the proper and timely completion of the work. The Contractor shall proceed with the work until unsatisfactory conditions have been corrected in a manner acceptable to the Landscape Architect.

3.02 PREPARATION

The Contractor shall provide sleeves to accommodate piping under walks or paving. The Contractor shall coordinate with other trades and install to accurate levels prior to paving work. Cutting and patching of paving and concrete will not be permitted. The Contractor shall maintain all warning signs, shoring, barricades, flares and red lanterns, as required by any local codes, ordinances or permits.

3.03 TRENCHING AND BACKFILLING

- A. Excavation: The Contractor shall stake out the location of each run of pipe, sprinkler heads, sprinkler valves and isolation valves prior to trenching. Excavation shall be open vertical construction sufficiently wide to provide free working space around the work installed and to provide ample space or backfilling and tamping. Trenches for pipe shall be cut to required grade lines, and compacted to provide accurate grade and uniform bearing for the full length of the line. The bottom of the trenches shall be free of rock or other sharp edged objects. Minimum cover shall be as follows:

Pipe and Wire Depth

Pressure Mainline	18" at top of pipe from Finish Grade
Lateral Piping (rotor)	12" at top of pipe from Finish Grade
Lateral Piping (pop-up)	12" at top of pipe from Finish Grade
Control Wiring	Side of main Line

- B. Minimum Clearances: All pipelines shall have a minimum clearance of six inches from each other and from lines of other crafts. Parallel lines shall not be installed directly over one another. No lateral line shall be installed in the main-line trench.

3.04 INSTALLATION OF PIPING

- A. PVC Pipe and Joints: The Contractor shall not install solvent wild pipe when air temperature is below 40ø F. Installation shall be in accordance with the manufacturer's instructions.

- 1. Only the solvent recommended by the pipe manufacturer shall be used. All PVC pipe and fittings shall be installed as outlined and instructed by the pipe manufacturer, and it shall be the Contractor's full responsibility to make arrangements with the pipe manufacturer for any field assistance that may be necessary. The Contractor shall assume full responsibility for the correct installation.

3.05 BACKFILLING PROCEDURES

Initial backfill on PVC lines shall be pulverized native soil, free of foreign matter. Within radius of 4" of the pipe shall be clean soil or sand. Plant locations shall take precedence over sprinkler and pipe locations. The Contractor shall coordinate the location of trees and shrubs with the routing of lines and final head locations.

- A. Backfill and Compaction: The Contractor shall leave trenches slightly mounded to allow for settlement after the backfilling is completed. The Contractor shall clean the site of the work continuously of excess waste materials as the backfilling progresses, and leave in a neat condition. No trenches shall be left open for a period of more than 48 hours. Protect open trenches as required.

The Contractor shall carefully backfill excavated materials approved for backfilling, consisting of earth, loam, sand, and other approved materials, free of rock and debris over 1" in size. Backfill shall be compacted to original density of surrounding soil without dips, sunken areas, or irregularities.

The Contractor shall conform to DOT requirements for methods and required compaction percentages, for roads and paving.

The Contractor shall hand place the first 6" of backfill (or to top of pipe) and have it walked on so as to secure the position of the pipe and wire.

No wheel rolling will be allowed. The Contractor shall remove rock or debris extracted from backfill materials and dispose of offsite. The Contractor shall fill any voids left in backfill with approved backfill materials.

- B. Existing Lawns: Where trenching is required across existing lawns, uniformly cut strips of sod 6" wider than trench. The Contractor shall remove sod in rolls of suitable size for handling and keep moistened until replanted. The Contractor shall replant sod within 48 hours after removal, roll and water generously. The Contractor shall resod any areas not in healthy condition equal to adjoining lawns 10 days after replanting.

- C. Seeded Area: Trenching will be required across existing seeded areas, primarily roadway edging. The Contractor shall conform to the requirements of seeding, Section 02930 for the reseeding of the disturbed trench area.

- D. Pavements: Jack and bore or directional bore piping under paving materials as per local regulatory codes. No cutting and patching of pavement will be permitted.

3.06 VALVES

- A. Isolation Valves: Shall be sized corresponding to adjacent pipe size. Specified valve boxes shall be installed flush with finish grade in such a manner that surface forces applied to their exposed area will not be transmitted to the piping in which the valve is installed nor any other piping, wiring or other lines in the vicinity of said valves.

- B. Gate Valves: Install where shown, in valve boxes.

- C. Electric Control Valves: Shall be installed in specified valve boxes. The valve shall have 6" of 3/4" pea gravel installed below the bottom of the valve. If the valve box does not extend to the base of the valve, a valve box extension shall be installed. Electric control valves shall be installed where shown and grouped together where practical. The Contractor shall place no closer than 24" to walk edges, bikeway edges, buildings and walls. The Contractor shall adjust the valve to provide flow rate or rated operating pressure required for each sprinkler circuit.

3.07 CONDUIT AND SLEEVES

- A. Conduit and Sleeves for Control Wiring and Main/Lateral Pipe: The Contractor shall provide and install where necessary. Contractor shall coordinate locations of previously installed sleeving with the General Site Contractor.

The Contractor shall coordinate installation of sleeves with work of other disciplines.

3.08 CONTROLS

- A. The Contractor shall connect electric control valves to controllers in a clockwise sequence to correspond with station settings beginning with Stations 1, 2, 3, etc. Automatic controllers shall be provided and installed by the Contractor as noted on the drawings. All zones will be labeled on the controller.

- B. Controllers shall be equipped with lightning protection and grounded to a standard 5/8" copper clad steel ground rod driven a minimum of 8' into the ground and clamped.

- C. The electrical service to the controllers shall be performed by an electrical subcontractor in compliance with NEC requirements.

3.09 CONTROL WIRE

- A. Control wiring between the controller and electric valves shall be buried in main line trenches or in separate trenches. Electrical connection at valve will allow for pigtail so solenoid can be removed from valve with sufficient slack to allow ends to be pulled 12" above ground for examination and cleaning.

- B. An expansion loop shall be provided at every valve at 100' o.c. Expansion loop shall be formed by wrapping wire at least eight times around a 3/4" pipe and withdrawing pipe.

- C. The wire shall be bundled and taped every ten feet. The wire shall be laid in the trench prior to installing the pipe being careful to install wire beneath and 6" to the side of the main pipe line.

- D. Electrical connections to electric control valves shall be made with Rainbird Pen-Tite or Techdel GT-3-GEL - Tite connectors or equal.

Power Connections: Electrical connections to power and signal wires shall be made using 3M 82-A2 power cable splice kits.

3.10 SPRINKLER HEADS

- A. General Provisions:

- 1. Sprinkler heads shall be installed as designated on the shop drawings. Heads shall be installed on flexible PVC. Top to be flush with finish grade or top of curb.
- 2. Spacing of heads shall not exceed the maximum indicated on the shop drawings (unless directed by the Landscape Architect). In no case shall the spacing exceed the maximum recommended by the manufacturer.

- B. Head Types:

- 1. Pop-up Rotary Sprinkler Heads: Shall be installed on flex joint and be set with top of head flush with finish grade. Heads installed at curb shall have 6" to 10" between perimeter of head and concrete. Heads placed at edge of pavement having no curb shall be installed 24" from edge of pavement.
- 2. Spray Pop-up Sprinkler Heads: Shall be installed on flexible PVC and be set with top of head flush with finished grade. Sprinkler heads placed adjacent to curbs will be installed 9" from concrete. Sprinkler heads placed adjacent to pavement having no curb shall be installed 24" from the edge of pavement.

3.11 COMPLETION

- A. Flushing: Before sprinkler heads are set, the Contractor shall flush the lines thoroughly to make sure there is no foreign matter in the lines.

The Contractor shall flush the main lines from dead end fittings for a minimum of five minutes under a full head of pressure.

- B. Testing: The Contractor shall notify Landscape Architect and Owner forty-eight (48) hours in advance of testing.

Prior to backfilling of main line fittings, Contractor shall fill the main line piping with water, in the presence of the Owner/Landscape Architect, taking care to purge the air from it by operating all the sprinkler control valves one or more times and/or such other means as may be necessary. A small, high pressure pump or other means of maintaining a continuous water supply shall be connected to the main line and set so as to maintain 100 PSI in the main line system for two (2) hours without interruption. When this has been accomplished and while the pressure in the system is still 100 PSI, leakage testing shall be performed in accordance with AWWA Standard C-600. Pressure readings shall be noted and make up water usage shall be recorded. Should the rate of make up water usage indicate significant leakage, the source of such leakage shall be found and corrected and the system then retested until the Owner/Landscape Architect is satisfied that the system is reasonably sound. Lateral line testing shall be conducted during the operating testing of the system by checking visually the ground surface until no leaks in this portion of the system are evident. Leaks shall be repaired or paid for by the Contractor at any time they appear during the warranty period.

- C. Adjustment and Coverage of System: Coordinate pressure testing with adjustments and coverage test of system so both may occur at the same time. The Contractor shall balance and adjust the various components of the system so that the overall operation of the system is most efficient. This includes a synchronization of the controllers, adjustments to pressure regulators, pressure relief valves, part circle sprinkler heads, and individual station adjustments on the controllers.

3.12 WARRANTY

- A. The Contractor shall fully warrant the landscape irrigation system for a period of one (1) year after the written final acceptance and will receive a written confirmation from the Landscape Architect that the warranty period is in effect.

- B. During the warranty period, the Contractor will enforce all manufacturer's and supplier's warranties as if made by the Contractor himself. Any malfunctions, deficiencies, breaks, damages, disrepair, or other disorder due to materials, workmanship, or installation by the Contractor and his suppliers shall be immediately and properly corrected to the proper order as directed by the Owner and/or Landscape Architect.

- C. Any damages caused by system malfunction shall be the responsibility of the Contractor who shall make full and immediate restoration for said damages.

90% FDOT ERC COMMENTS	11/5/2021
FINAL FDOT ERC COMMENTS	12/23/2021
100% FDOT ERC COMMENTS	02/18/2022
No.	DATE

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LICENSED PROFESSIONAL
 KHA PROJECT 043138022
 DATE 12/23/2021
 SCALE AS SHOWN
 DESIGNED BY GF
 DRAWN BY CU
 CHECKED BY GF
 DATE:

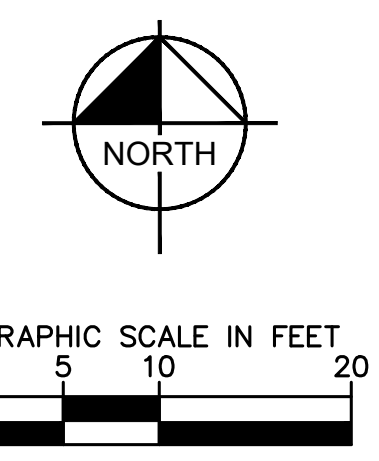
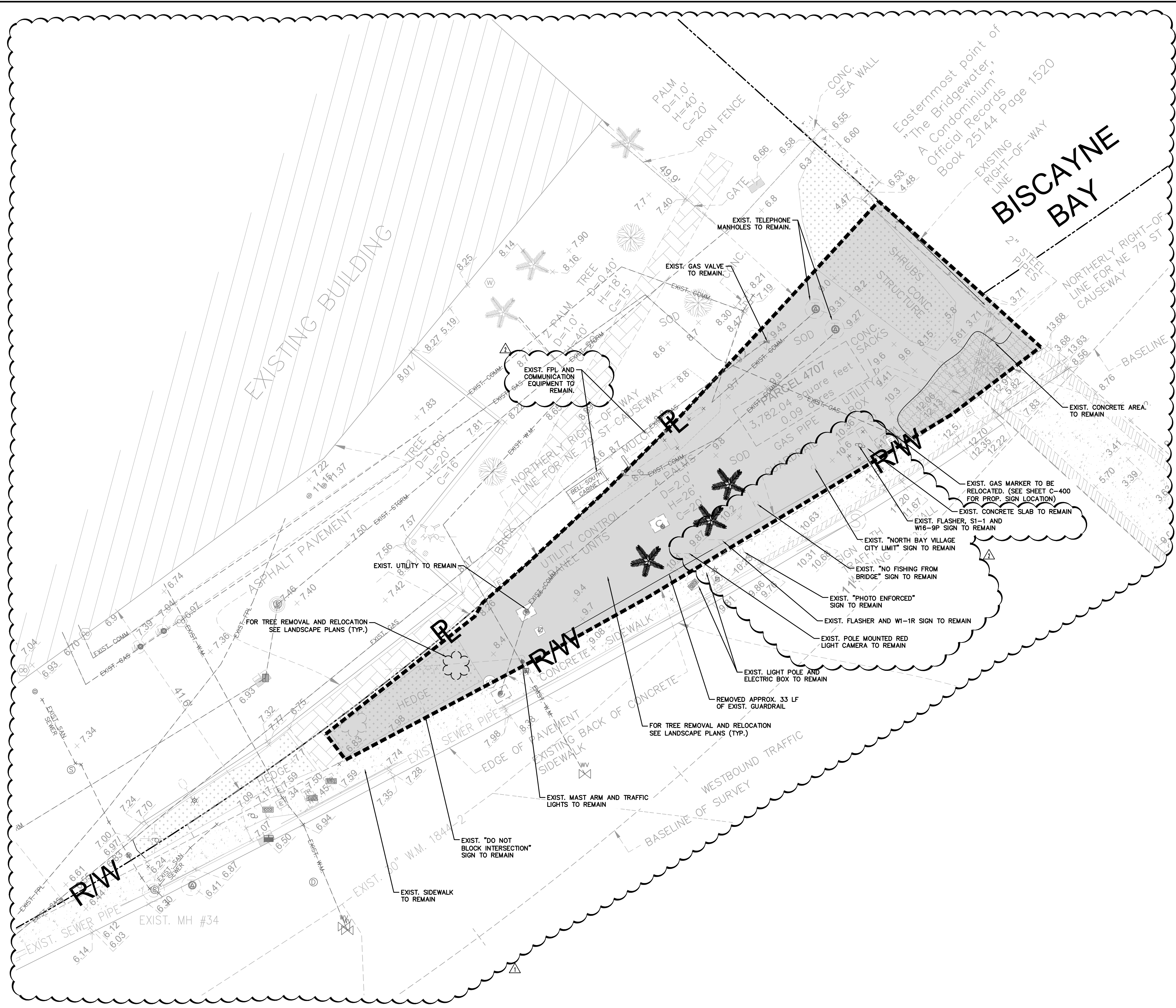
FM #440846 FINAL PLANS FOR REVIEW
IRRIGATION NOTES AND DETAILS

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 MIAMI-DADE COUNTY FL

SHEET NUMBER
L-553



Plotted By: Perasso, Beatriz - Sheet: Sst: BAYWALK PLAZA - Layout: C-201 DEMOLITION PLAN - February 18, 2022 11:32:18am - K:\MIB_LIRO\043138022_baywalk_plaza_area_design\X\W\CAD\DEMOLITION\201 DEMOLITION PLAN.dwg
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- LEGEND:**
- RAW
 - RIGHT-OF-WAY OR PROPERTY LINE
 - CENTER LINE OF ROADWAY
 - LIMITS OF DEMOLITION
 - DEMOLITION AREA

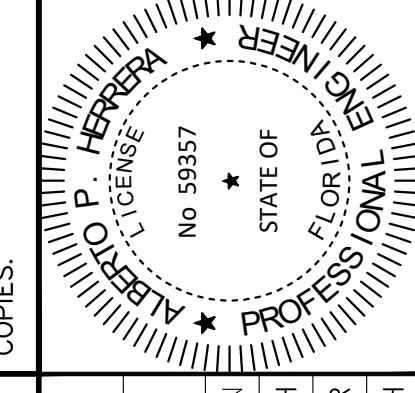
- SURVEY LEGEND:**
- METAL LIGHT POLE
 - GUY WIRE
 - UTILITY POWER POLE
 - FIRE HYDRANT
 - WATER METER
 - ELECTRIC BOX
 - TELEPHONE BOX
 - SEWER MANHOLE
 - TRAFFIC SIGN
 - CATCH BASIN
 - DRAINAGE MANHOLE
 - OVERHEAD UTILITY LINES
 - WIRED FENCE
 - WOOD FENCE
 - LIGHT POLE
 - SEWER VALVE
 - WATER VALVE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - UNKNOWN MANHOLE
 - GUARD POLE
 - INVERTS
 - SPOT ELEVATION
 - T.B.M.—TEMPORARY BENCHMARK
 - DIAMETER—HEIGHT—SPREAD
 - LOT CORNER
 - TREE (SPECIES UNKNOWN)
 - PALM TREE
 - ORNAMENTAL TREE

- NOTES:**
- INFORMATION ON THIS PLAN IS BASED ON THE SURVEY PROVIDED BY HADONNE CORP., DATED JULY 16, 2014 (UPDATED AUGUST 31, 2021).
 - SEE LANDSCAPE PLANS FOR TREES TO REMAIN, REMOVAL/RELOCATION AND TREE PROTECTION.
 - CONTRACTOR TO COORDINATE WITH THE MIAMI DADE COUNTY PUBLIC WORKS DEPARTMENT TRAFFIC SIGNALS AND SIGNS DIVISION FOR EXISTING SIGNAL POLES, CAMERA POLES AND SIGNS TO BE REMOVED AND/OR RELOCATED.
 - ANY VALVES, MANHOLES, INLETS, ETC. TO REMAIN SHALL BE ADJUSTED TO PROPOSED ELEVATION AS REQUIRED. CONTRACTOR TO COORDINATE DIRECTLY WITH APPROPRIATE UTILITY FOR GRADE ADJUSTMENT.
 - ALL PEDESTRIAN AREA MANHOLE RIMS, VAULT COVERS, GRATES, ETC. SHALL BE ADA/PEDESTRIAN COMPLIANT MODEL. ALL EXISTING MANHOLE RIMS, VAULT COVERS, GRATES, ETC. SHALL BE REPLACED WITH ADA/PEDESTRIAN COMPLIANT MODELS.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY KIMLEY-HORN AND ASSOCIATES, P.E., ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/05/2021	
2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/18/2022	

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KHA PROJECT	043138022
DATE	06/20/2018
SCALE	AS SHOWN
DESIGNED BY	APH
DRAWN BY	JR
CHECKED BY	APH

DEMOLITION PLAN

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 NORTH BAY VILLAGE FLORIDA

Always call 811 two full business days before you dig

Flotted: By Ferrasso, Beatriz - Sheet: Set: BAYWALK PLAZA - Layout: C-300 EROSION CONTROL NOTES - February 18, 2022 - 11:32:28am. K:\VIB-URB-04-138022-baywalk_plaza_area_design\CIVIL\CADD\plan sheets\C-300 EROSION CONTROL NOTES.dwg
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BEST MANAGEMENT PRACTICES (BMPs):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE MIAMI-DADE COUNTY LAND DEVELOPMENT REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17-25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 40D-4, F.A.C. AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 832/R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- A. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPIILING FOR REUSE.
- B. SEDIMENT PROTECTION OF STORM SEWER OR RECEIVING STREAM.
- C. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 1. FUEL SPILLS AND LEAKS PREVENTION
- 2. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
- 3. VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR
- 4. PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
- 5. PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
- 6. SOLID WASTE MANAGEMENT
- 7. HAZARDOUS WASTE MANAGEMENT
- 8. CONCRETE WASTE MANAGEMENT
- 9. SANDBLASTING WASTE MANAGEMENT
- 10. STRUCTURE CONSTRUCTION AND PAINTING
- 11. SPILL PREVENTION AND CONTROL
- 12. CONTAMINATED SOIL MANAGEMENT
- 13. SANITARY/SEPTIC WASTE MANAGEMENT
- 14. SOIL EROSION CONTROL
- 15. STORM WATER TURBIDITY MANAGEMENT

ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.

F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

G. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.

H. GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.

I. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

J. TOPSOIL CANNOT BE STOCKPILED INSIDE THE PROPERTY FOR REFUSE.

K. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORM WATER EROSION CONTROL PRACTICES:

A. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

B. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

C. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.

D. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.

E. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

1. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.

2. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.

3. A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS.

F. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.

G. SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL, AS APPLICABLE.

H. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.

I. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.

J. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

WIND EROSION CONTROL PRACTICES:

A. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:

1. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

2. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABILIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUNDCOVER (SEE TEMPORARY STABILIZATION PRACTICES FOR DETAILS).

3. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FIBER SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.

B. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

SPILL CONTROL PRACTICES:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

A. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.

B. THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.

C. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ONSITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

D. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.

E. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.

F. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.

G. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.

H. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

STABILIZATION PRACTICES:

A. TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASE FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER SEEDING, EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EQUAL AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

B. PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.66A, 1.66B AND 1.66C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS/ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY.

C. STABILIZATION WILL BE INITIATED ON ALL DISTURBED AREAS WITHIN 14 DAYS OF WORK CEASING, UNLESS CONSTRUCTION ACTIVITY WILL RESUME IN THAT AREA WITHIN 21 DAYS AFTER WORK STOPPAGE. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.

D. CONTRACTOR TO ENSURE THAT EXISTING VEGETATION ON OR ADJACENT TO THE PROPOSED SITE IS PRESERVED AND DISTURBED PORTIONS OF THE SITE ARE STABILIZED. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.

E. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

F. SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(c)

STRUCTURAL PRACTICES:

A. EARTH DIKE - IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUN-ON AROUND THE CONSTRUCTION SITE. THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.

B. SEDIMENT BASIN - A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

C. SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(c)

WASTE DISPOSAL:

A. WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TREE AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.

B. HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

C. SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.

D. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

E. ANY CONSTRUCTION DEBRIS GENERATED AS A RESULT OF THIS PROJECT WILL BE DISPOSED OF OFF-SITE AN AN APPROPRIATE WASTE FACILITY.

F. CONCRETE WASHOUT LOCATIONS WILL BE PROVIDED IN AREAS WHERE THE DISPOSAL MATERIALS WILL BE CONTAINED TO PREVENT DISCHARGE OUTSIDE OF THE PROJECT LIMITS AND INTO THE WATERSHEDS.

INSPECTION AND MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.

C. THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.

D. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

E. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

F. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.

G. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION.

H. DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.

I. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.

J. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.

K. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.

OFFSITE TRACKING:

A. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPULAIN.

B. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.

C. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.

D. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

E. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

A. GOOD HOUSEKEEPING

1. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.

2. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.

3. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.

4. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.

5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.

6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

B. HAZARDOUS PRODUCTS

1. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.

2. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

C. PRODUCT SPECIFIC PRACTICES

1. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

2. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.

4. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

STORMWATER POLLUTION PREVENTION PRACTICES:(FOR PROJECTS OF 0.5 ACRES OR MORE CITY ORDINANCE NUMBER 13081)

1. TREE PROTECTION AND PRUNING SHALL BE ACCOMPLISHED AS DETAILED IN SPECIAL PROVISIONS, THE CONSTRUCTION PLANS, AND/OR PER TREE ORDINANCE 12636.

2. ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM, OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED ON SHEET 2 OF 4 OF THE MISC. 35-89-5 OF THE CITY OF MIAMI PUBLIC WORKS ENGINEERING STANDARD FOR DESIGN AND CONSTRUCTION MANUAL.

3. ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.

4. ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.

5. DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE OF INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE.

6. CURB INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL EXPOSED SLOPED MATERIAL ADJACENT TO INLETS SHALL BE COVERED WITH EROSION CONTROL MATTING WITH OUTER LIMITS PROTECTED BY ROCK BAGS. ANY DAMAGED OR INEFFECTIVE ROCK BAGS ARE TO BY REPLACED WITH NEW ONES.

7. STOCKPILED MATERIAL SHALL NOTE BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER OR ROCK BAGS.

8. INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BY NOTED AND CORRECTED.

9. ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPAL SEPARATE STORMWATER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES IS NOT ALLOWED. REFER TO PUBLIC WORKS BULLETIN NO. 25.

10. THE USE OF SANITARY SEWERS, FRENCH DRAINS, COVER DITCHES AND/OR ROCK DRAINS FOR THE DISPOSAL OF WASTEWATER IS EXPRESSLY PROHIBITED. REFER TO PUBLIC WORKS BULLETIN NO. 25.

PROJECT DESCRIPTION:

PROJECT LOCATION: REFER TO SURVEY PREPARED BY HADONNE

1. PROJECT LIMITS: TOTAL PROJECT AREA IS APPROXIMATE 7.96 ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 6.69 ACRES.

2. CONSTRUCTION ACTIVITY: CONSTRUCTION OF PROPOSED BUILDING, ROADWAY IMPROVEMENTS, SIDEWALKS, LANDSCAPING, UTILITIES, AND DRAINAGE SYSTEM.

3. MAJOR SOIL DISTURBING ACTIVITIES: CLEARING AND GRUBBING, INSTALLATION OF DRAINAGE SYSTEM, INSTALLATION OF UTILITIES, CONSTRUCTION OF BUILDING FOUNDATION.

4. DEWATERING ACTIVITIES: DEWATERING IS NOT ANTICIPATED FOR THIS SITE.

5. SOIL CHARACTERISTICS: THE SOIL TYPE WITHIN THE PROJECT'S LIMIT OF DISTURBANCE IS CLASSIFIED AS URBAN SOIL AND IS NOT HIGHLY ERODIBLE.

6. RUNOFF COEFFICIENTS: EXISTING: 0.35

DURING CONSTRUCTION: 0.80
 PROPOSED: 0.86

SEQUENCE OF CONSTRUCTION:

SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS:

1. PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING, INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN, STANDARD DETAILS, NPDES REQUIREMENTS, AND THE CITY OF MIAMI PUBLIC WORKS ENGINEERING STANDARD FOR DESIGN AND CONSTRUCTION MANUAL.

2. BEGIN CLEARING AND GRUBBING.

3. INSTALL DRAINAGE SYSTEM, INCLUDING: CONCRETE INLETS, DRAIN BASINS, DRAINAGE PIPES, DRAINAGE WELLS, AND EXFILTRATION TRENCHES.

4. INSTALL INLET PROTECTION AND ROCK BAGS ON ALL INLETS AND MANHOLES IN THE LOCATIONS SHOWN ON THE PLANS AND PER THE STANDARD DETAILS PROVIDED AND THE CITY OF MIAMI PUBLIC WORKS ENGINEERING STANDARD FOR DESIGN AND CONSTRUCTION MANUAL.

5. PREPARE SUBBASE MATERIAL.

6. BEGIN ASPHALT AND CONCRETE INSTALLATION.

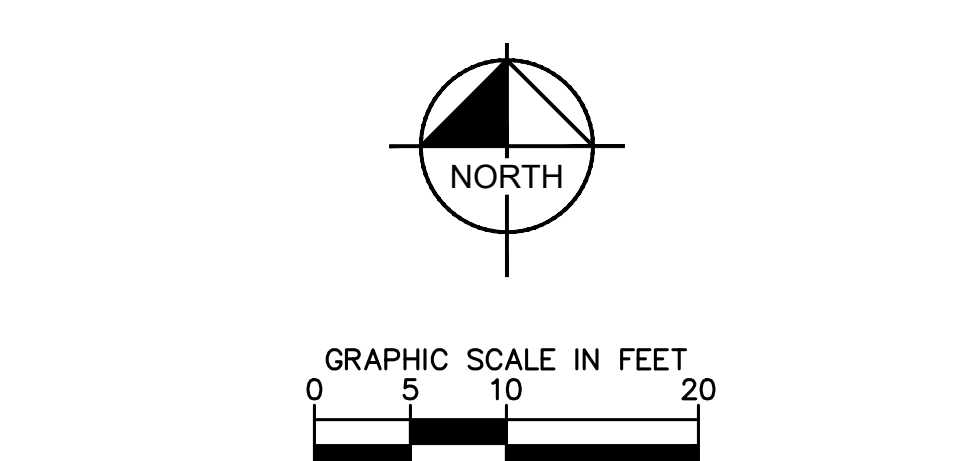
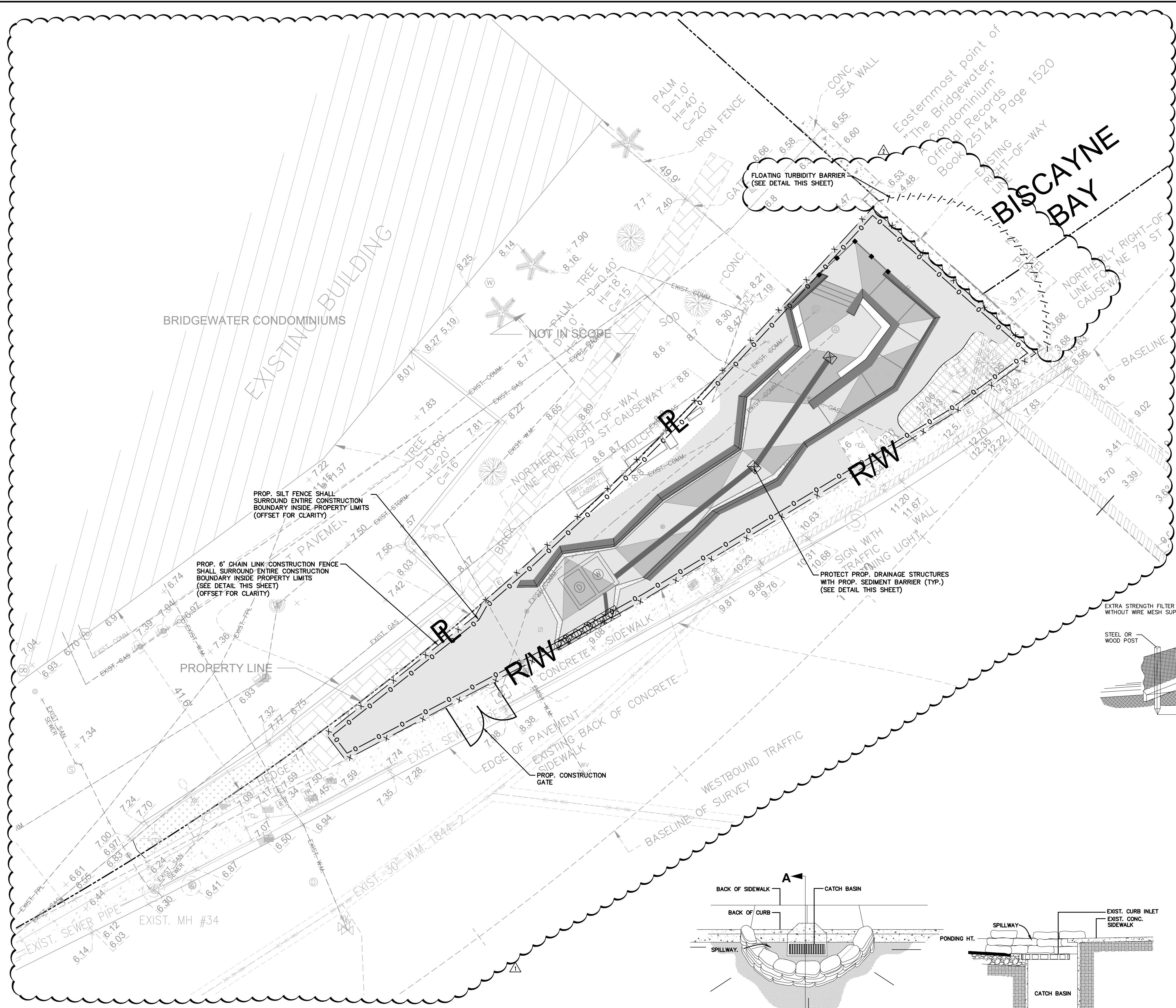
7. AFTER COMPLETION OF SITE WORK, BEGIN SITE STABILIZATION AND PERMANENT SEEDING.

8. ONCE SITE STABILIZATION IS COMPLETE, CONTRACTOR TO CLEAN ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE.

9. ONCE A UNIFORM 70% VEGETATIVE COVER OF PERENNIAL VEGETATION IS ACHIEVED ACROSS THE ENTIRE DISTURBED AREA THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES MAY BEGIN.

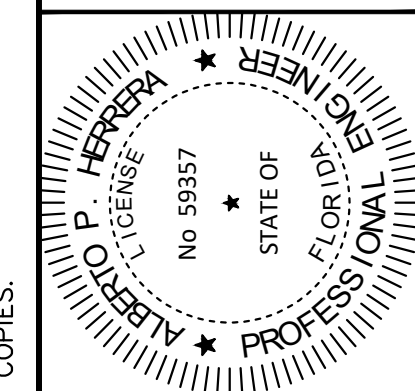
	90% FDOT ERC COMMENTS	11/05/2021
	FINAL FDOT ERC COMMENTS	12/23/2021
	100% FDOT ERC COMMENTS	02/18/2022
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Plotted By: Perasso, Bradiz Sheet: S-BAYWALK PLAZA Layout: C-301 EROSION CONTROL PLAN AND DETAILS February 18, 2022 11:33:41am K:\MIB-URG\043138022_bdwalk plaza area design\CADD\plansheets\C-301 EROSION CONTROL PLAN AND DETAILS.dwg
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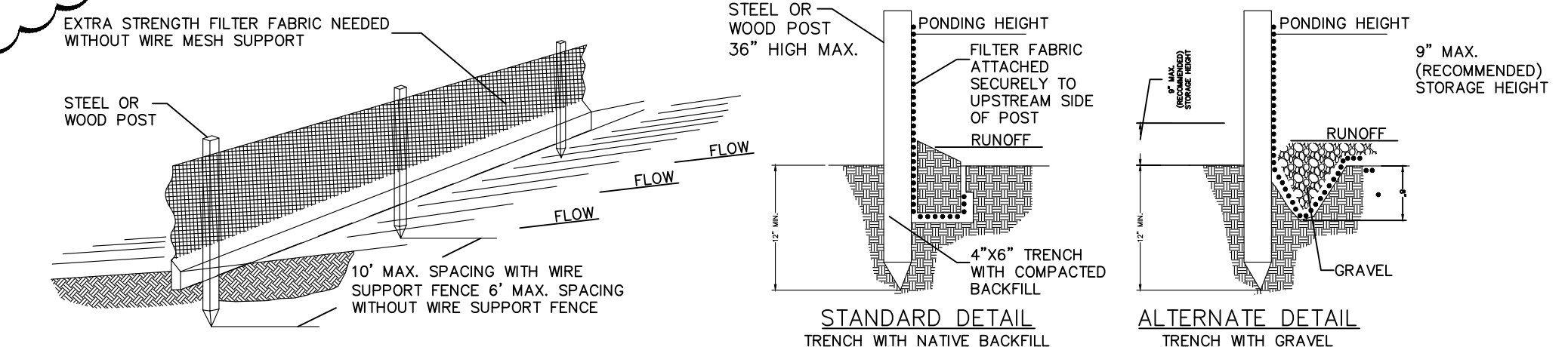
- LEGEND:**
- RIGHT-OF-WAY OR PROPERTY LINE
 - CENTER LINE OF ROADWAY
 - SEDIMENT BARRIER CONTROL FOR STORM STRUCTURE
 - PROP. SILT FENCE
 - PROP. 6' CHAIN LINK CONSTRUCTION FENCE WITH DUST SCREEN (IF REQ.)
 - PROP. FLOATING TURBIDITY BARRIER (REFER TO DETAIL)

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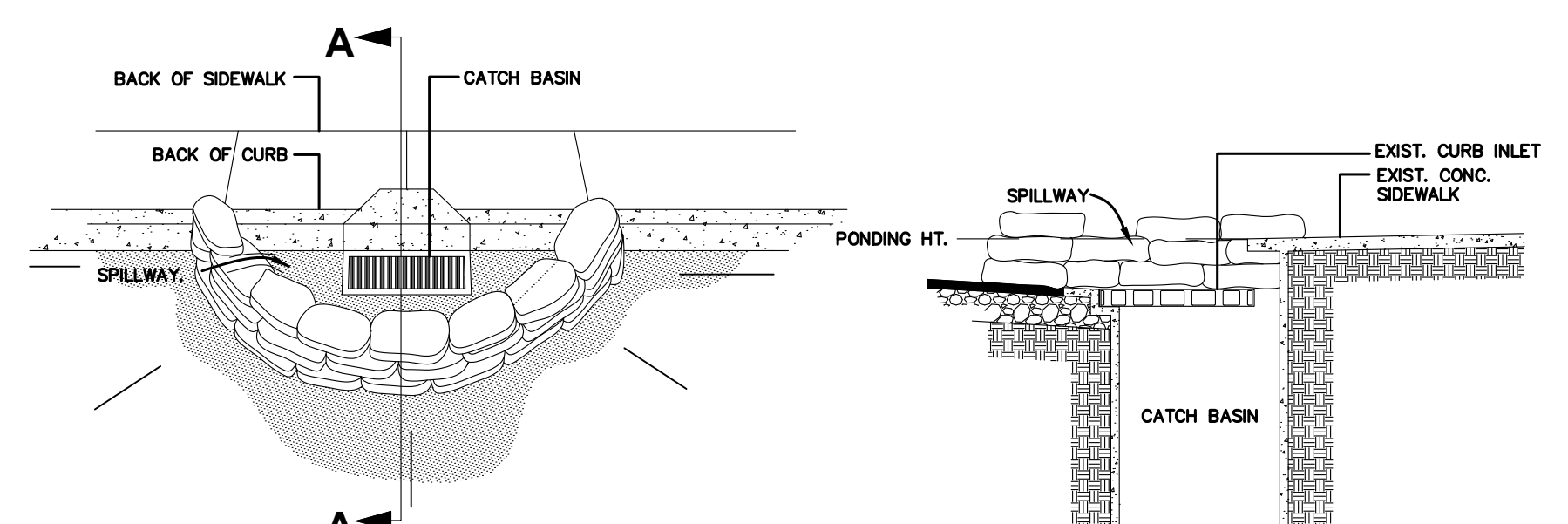
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 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM CA 00000696

NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/05/2021	
2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/16/2022	



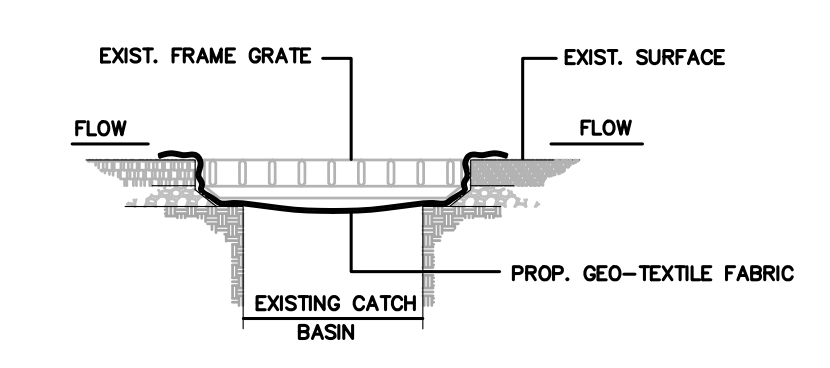
- NOTES:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE DETAIL



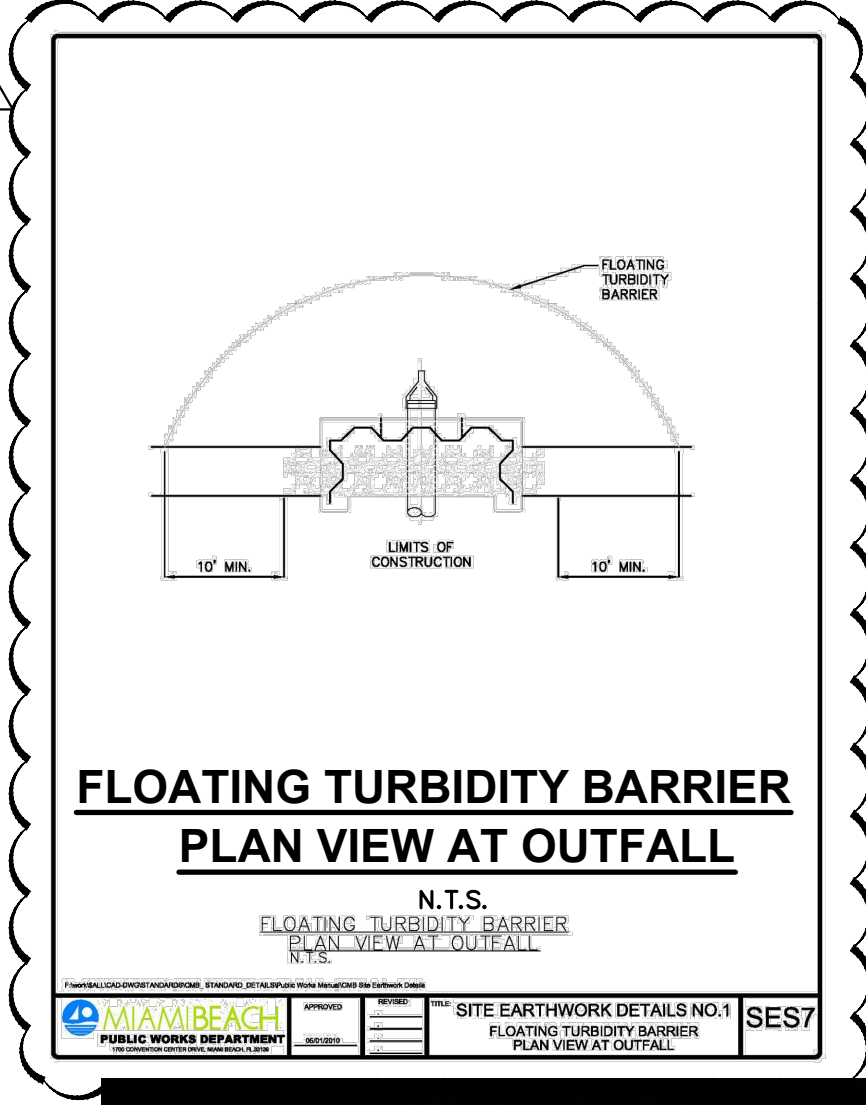
CURB INLET SILT BARRIER DETAIL
N.T.S.

- NOTES:**
- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 - SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
 - LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



CATCH BASIN SILT BARRIER DETAIL
N.T.S.

- NOTES:**
- CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
 - SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.



FLOATING TURBIDITY BARRIER PLAN VIEW AT OUTFALL
N.T.S.

1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
 2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

Always call 811 two full business days before you dig



EROSION CONTROL PLAN AND DETAILS

BAYWALK PLAZA PREPARED FOR NORTH BAY VILLAGE

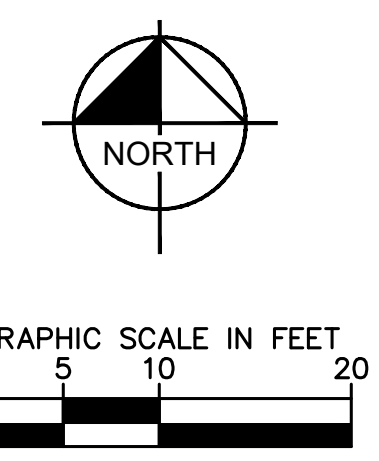
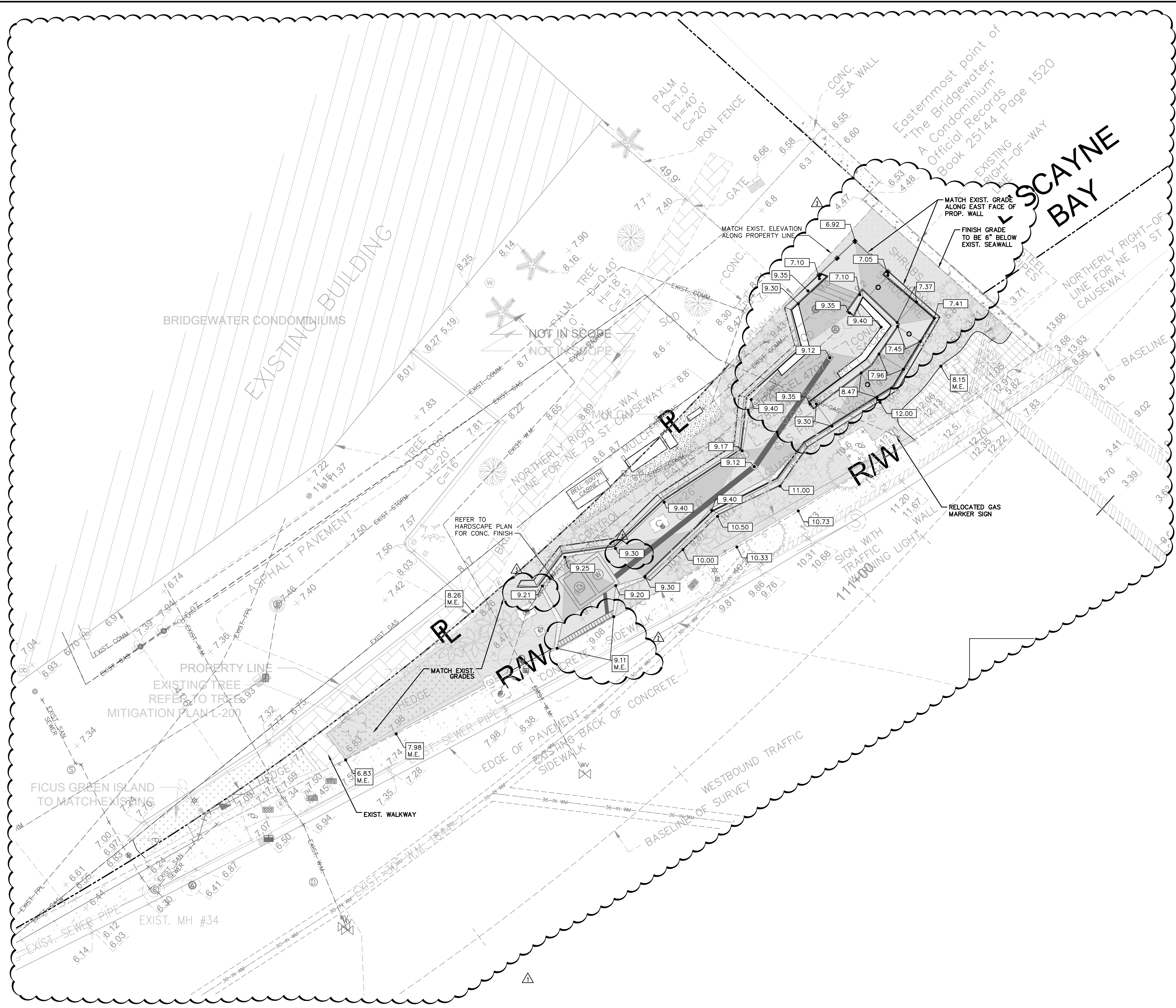
SHEET NUMBER **C-301**

DATE: 2/18/2022

KHA PROJECT: 043138022
 DATE: 06/20/2018
 SCALE: AS SHOWN
 DESIGNED BY: APH
 DRAWN BY: JR
 CHECKED BY: APH

NORTH BAY VILLAGE FLORIDA

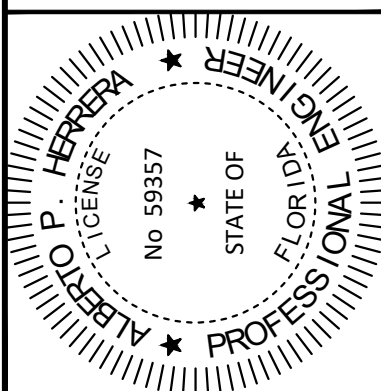
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- LEGEND:**
- RIGHT-OF-WAY OR PROPERTY LINE
 - CENTER LINE OF ROADWAY
 - PROPOSED ELEVATION
 - MATCH EXISTING PAVEMENT ELEVATION

- NOTES:**
1. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT OR SITE ENGINEER REGARDING ANY GRADE REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
 3. ALL CUT AND FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
 4. STORM PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) STORM PIPE IN INFILTRATION TRENCH AREAS SHALL BE SLOTTED HDPE.
 5. IF ANY EXISTING DRAINAGE STRUCTURES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR THOSE STRUCTURE TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
 6. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 8. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 9. SPOT ELEVATIONS ARE AT EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 10. FIELD DENSITY TESTS SHALL BE TAKEN AT THE FREQUENCY REQUIRED IN THE SPECIFICATIONS.
 11. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. THE CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
 12. STORMWATER POLLUTION PREVENTION PLAN AND DETAILS IMPLEMENTED ON SITE SHALL CONFORM TO THE REQUIREMENT OF FDEP/NPDES AND MAHARDE COUNTY.
 13. CROSS SLOPES ALONG PEDESTRIAN WALKWAYS TO BE MAX 2%.

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KHA PROJECT	043138022
DATE	06/20/2018
SCALE	AS SHOWN
DESIGNED BY	APH
DRAWN BY	JR
CHECKED BY	APH

PAVING & GRADING PLAN

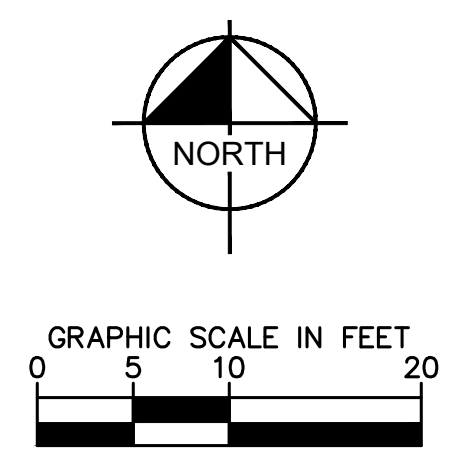
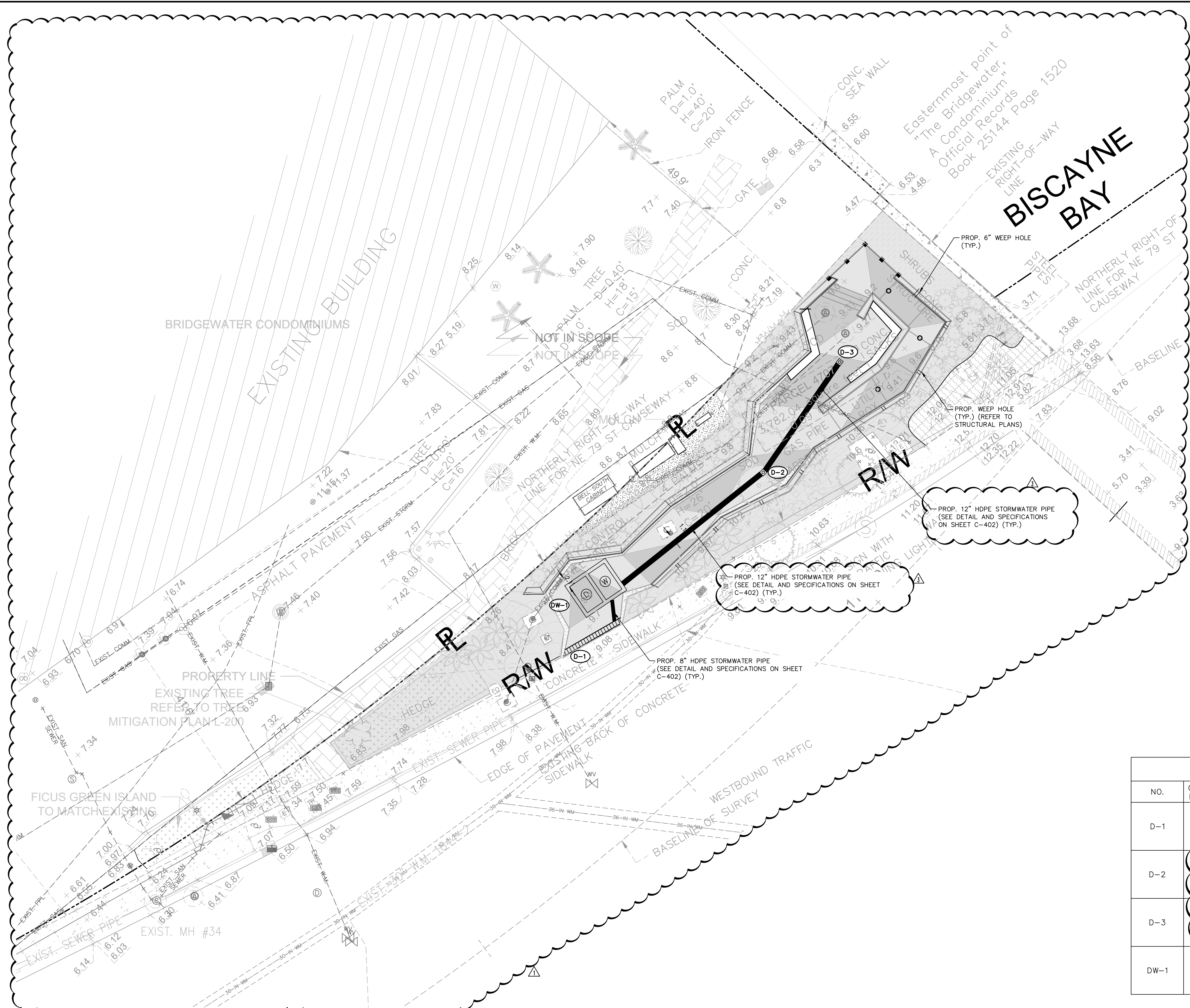
BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE

SHEET NUMBER
C-400



90% FDOT ERC COMMENTS	11/05/2021
FINAL FDOT ERC COMMENTS	12/23/2021
100% FDOT ERC COMMENTS	02/16/2022
REVISIONS	DATE
No.	BY

Plotted By: Perasso, Beatriz - Sheet: Sst: BAYWALK PLAZA - Layout: C-401 DRAINAGE PLAN - February 18, 2022 - 11:35:39am - K:\MIB-URG\043138022-baywalk-plaza-area-design\CADD\plansheets\C-400 PAVING & GRADING PLAN.dwg
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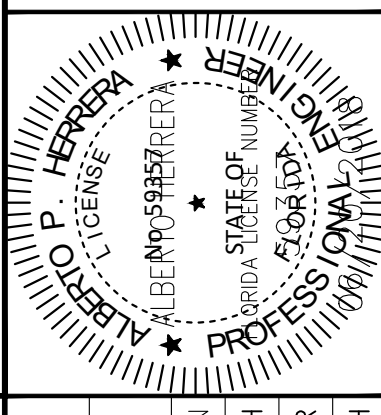
LEGEND:

- RIGHT-OF-WAY OR PROPERTY LINE
- CENTER LINE OF ROADWAY
- PROP. TRENCH DRAIN
- PROP. DRAINAGE WELL

NOTES:

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DRAINAGE STRUCTURE SCHEDULE					
NO.	GRATE/RIM ELEVATION	PIPE INV. ELEVATION	STRUCTURE BOTTOM	PIPE DIRECTION	REMARKS
D-1	9.08	6.41	VARIES	-	TRENCH DRAIN ZURN Z882 PERMA-TRENCH HDPE 12" DRAIN SYSTEM WITH P12-GHPD GRATE OF DUCTILE IRON, ADA RATED OR APPROVED EQUAL.
D-2	9.12	6.14	VARIES	-	15" NYLOPLAST INLINE DRAIN BASIN WITH 1501 DI GRATE
D-3	9.12	6.48	VARIES	-	15" NYLOPLAST INLINE DRAIN BASIN WITH 1501 DI GRATE
DW-1	9.23	6.36 5.85	0.5'	S E	DRAINAGE WELL AND BOX (SEE DETAILS, SHEET C-402)

DRAINAGE WELL STRUCTURE SCHEDULE														
STRUCTURE NO.	FRAME & COVER		INTERNAL DIMENSIONS				PIPE DIRECTION / INVERT ELEVATION				M.H. RIM ELEVATION	TOP OF CASING ELEVATION	LOCATION	
	WELL CHAMBER	REFLECTION NUMBER	W	X	Y	Z	N	S	E	W			LATITUDE	LONGITUDE
DW-1	U.S.F. 3100 RING AND COVER	U.S.F. 3100 RING AND COVER	6.00'	3.50'	4.00'	5.67'	-	6.36' (8") STORM PIPE	5.85' (8") STORM PIPE	-	9.23'	6.23'	N25° 50' 55.40"	W80° 08' 46.20"

NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/05/2021	
2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/18/2022	

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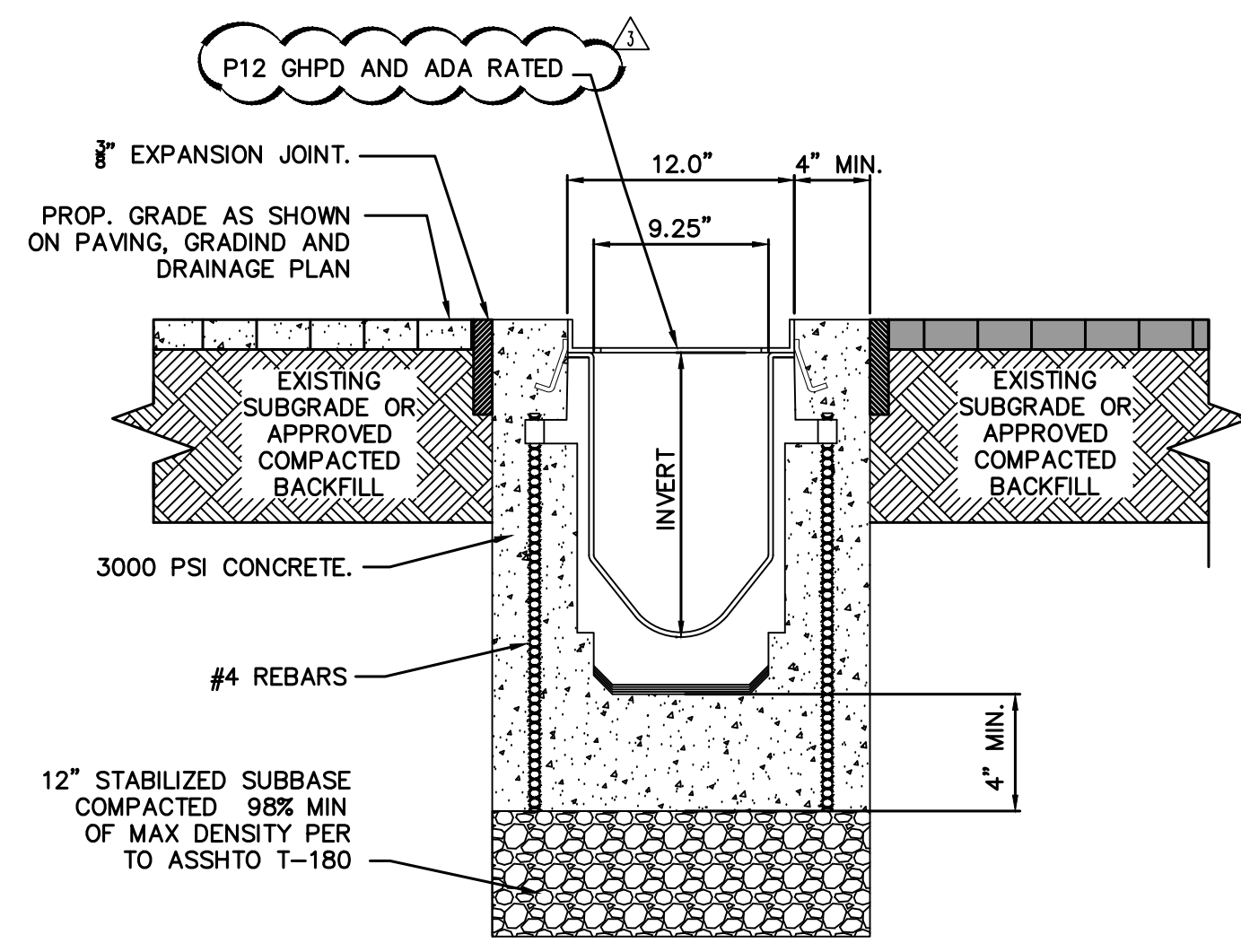
KHA PROJECT	043138022
DATE	03/30/2015
SCALE	AS SHOWN
DESIGNED BY	APH
DRAWN BY	JR
CHECKED BY	APH

DRAINAGE PLAN

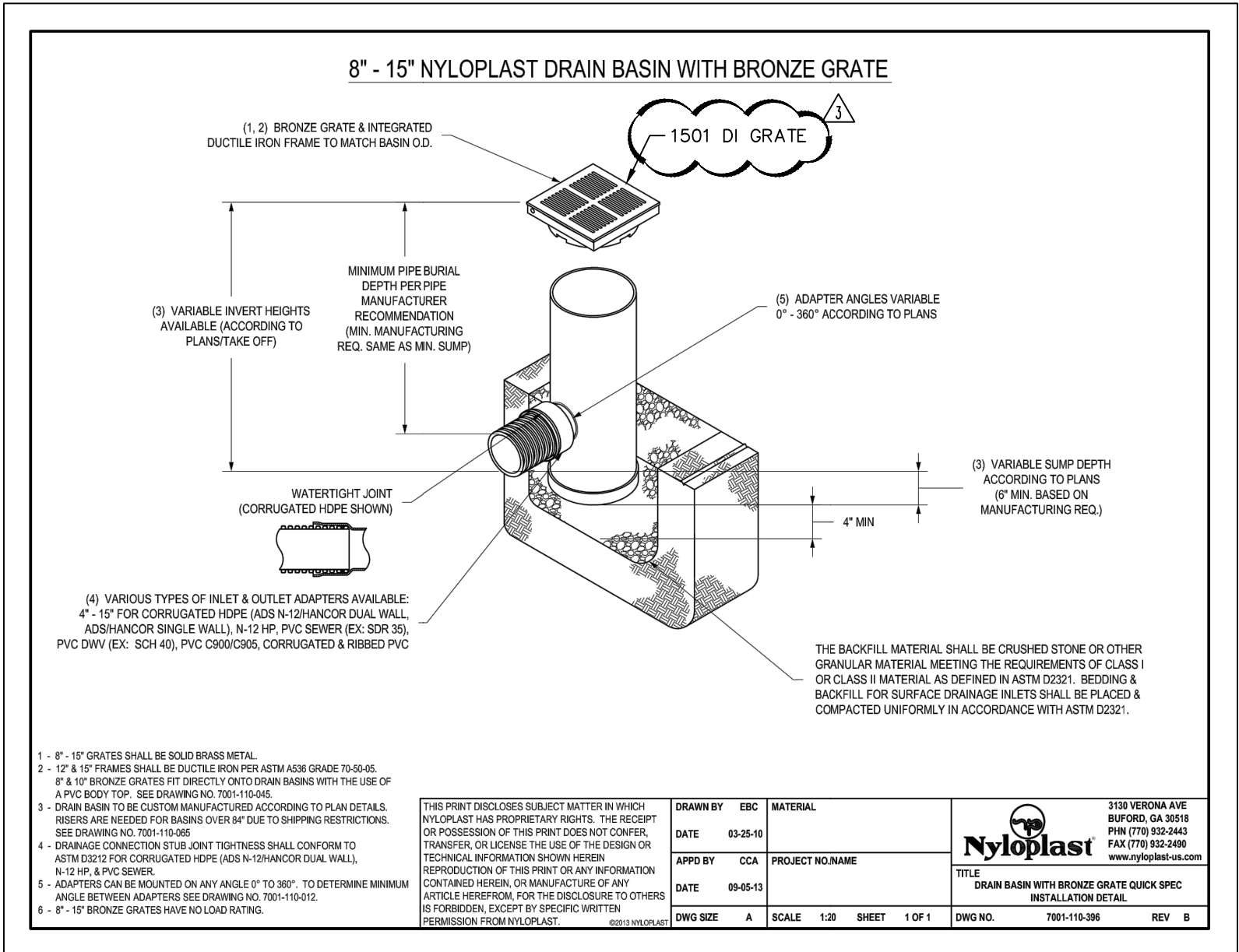
BAYWALK PLAZA
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NORTH BAY VILLAGE
 NORTH BAY VILLAGE FLORIDA

Always call 811 two full business days before you dig

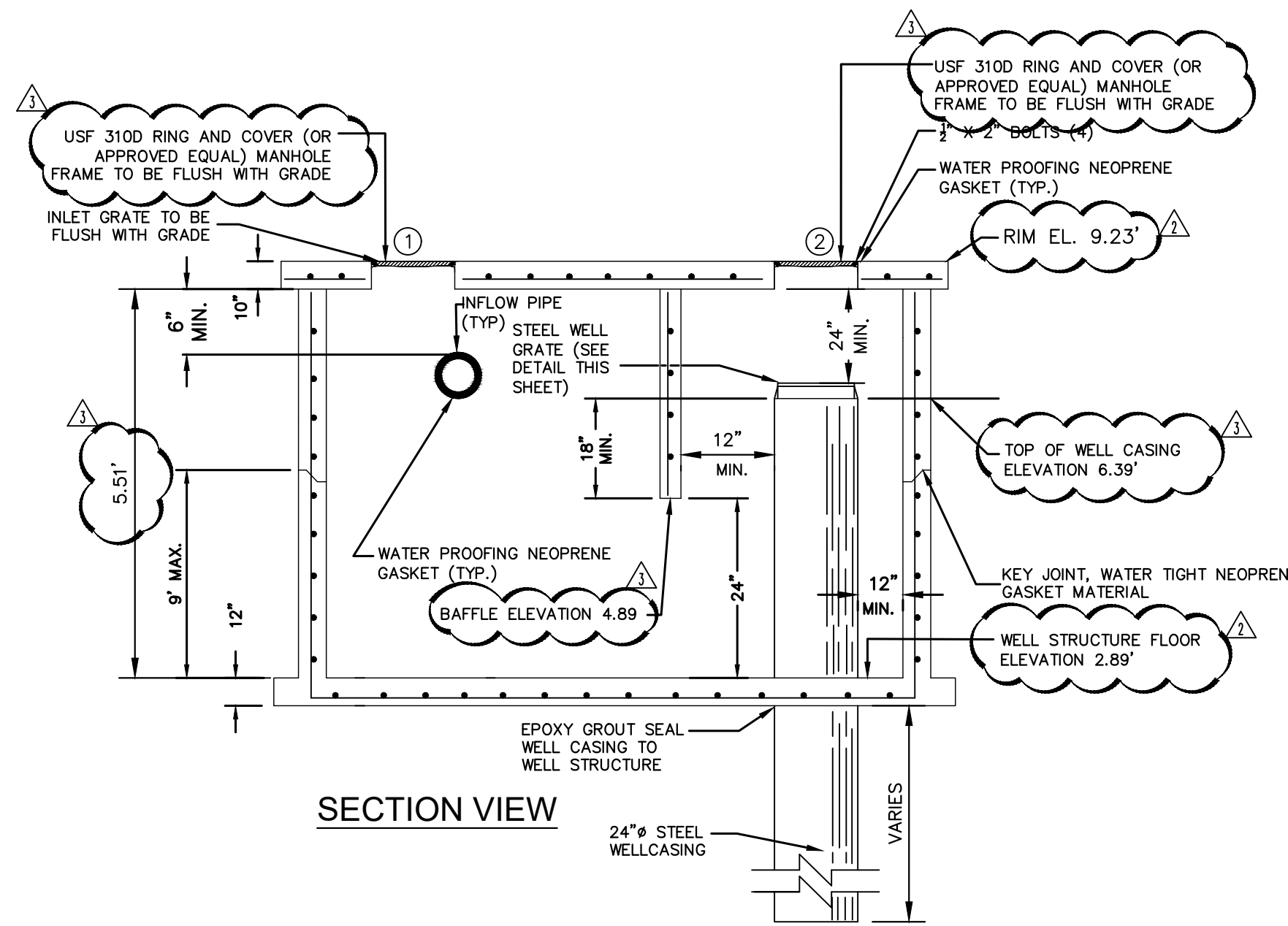
Plotted By: Perasso, Beatriz - Sheet: Set: BAYWALK PLAZA - Layout: C-402 PAVING, GRADING, AND DRAINAGE DETAILS - February 18, 2022 11:35:51am - K:\MIB-URG\04\3180222_bdwalk_plaza_area_design\CADD\DWG\DWG\043180222_PAVING, GRADING, AND DRAINAGE DETAILS.dwg
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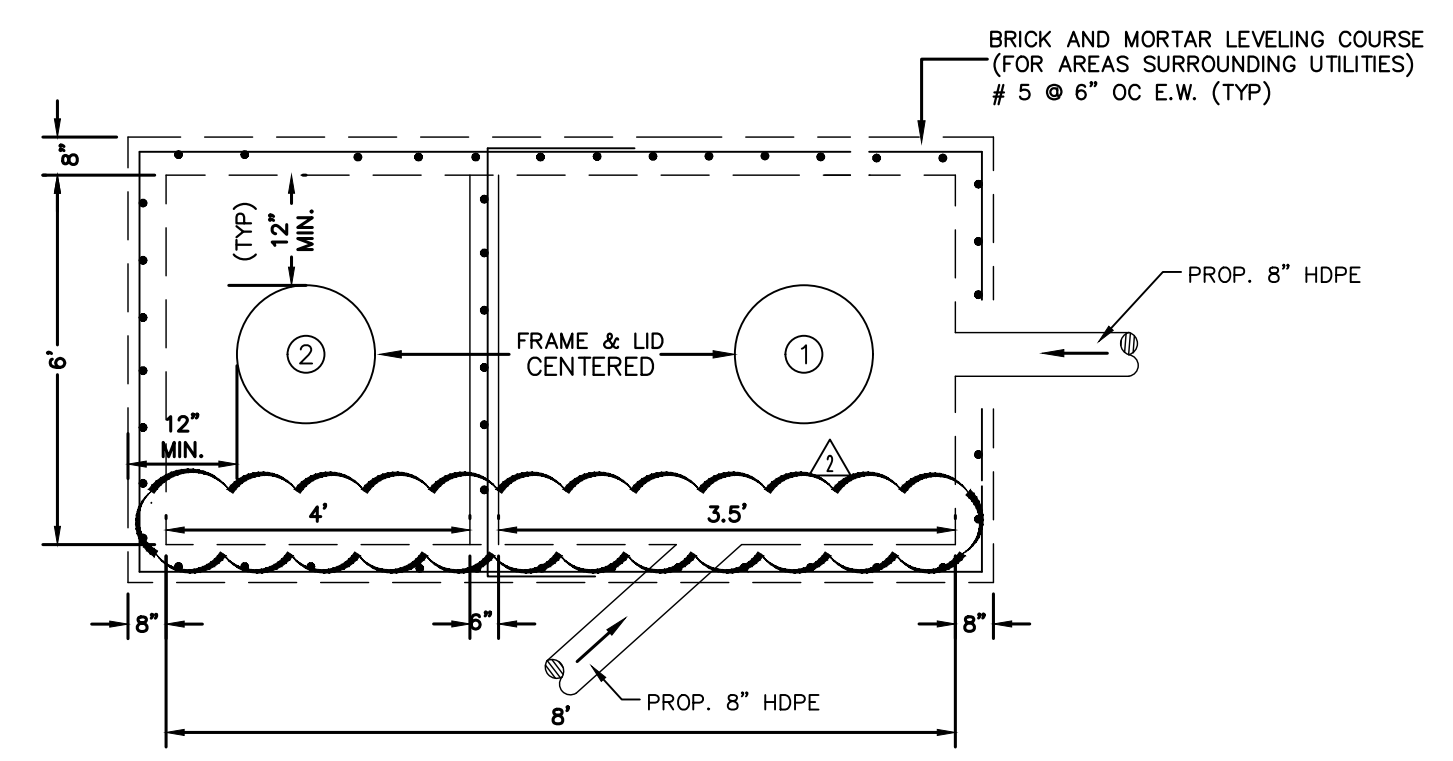
ZURN Z-882 TRENCH DRAIN SYSTEM DETAILS
 (OR APPROVED EQUAL)
 N.T.S.



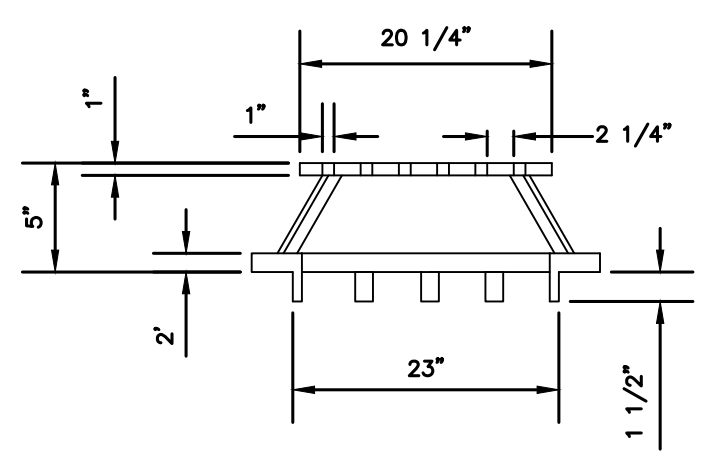
15" NYLOPLAST DRAIN BASIN
 (OR APPROVED EQUAL)
 N.T.S.



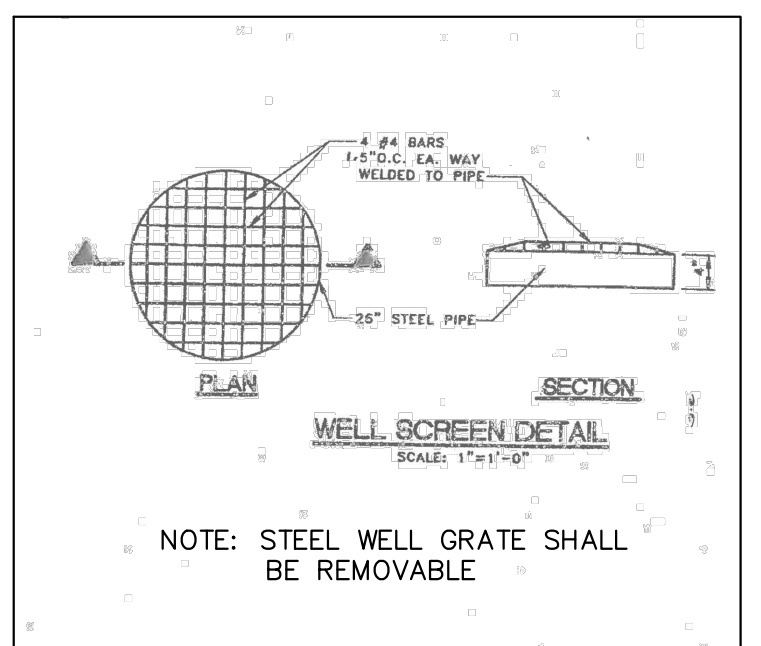
SECTION VIEW



TOP VIEW
STORM DRAINAGE WELL DW-1
 N.T.S.



STEEL WELL GRATE DETAIL
 N.T.S.



NOTES:

1. ALL PEDESTRIAN AREA MANHOLE RIMS, VAULT COVERS, GRATES, ETC. SHALL BE ADA/PEDESTRIAN COMPLIANT MODEL. ALL EXISTING MANHOLE RIMS, VAULT COVERS, GRATES, ETC. WITHIN PEDESTRIAN AREAS SHALL BE REPLACED WITH ADA/PEDESTRIAN COMPLIANT MODELS.

DRAINAGE WELL STRUCTURES STRUCTURAL NOTES:

DESIGN CRITERIA: DESIGN, FABRICATION AND ERECTION OF PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND PCI DESIGN HANDBOOK. DESIGN OF CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99.

DESIGN LIVE LOADS: THE TOP SLAB OF DRAINAGE STRUCTURE SHALL BE DESIGNED TO CARRY TRAFFIC LOADS (H-10 LOADING).

GEOTECHNICAL CRITERIA: SOIL BEARING PRESSURE UNDER STRUCTURE ASSUMED TO BE AT MINIMUM 2000 PSF. PRIOR TO INSTALLATION OF DRAINAGE STRUCTURE THE SOIL BEARING CAPACITY OF THE FOUNDATION MUST BE CONFIRMED BY THE CONTRACTOR, THROUGH A CERTIFIED GEOTECHNICAL LABORATORY.

CONCRETE: CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI AND SHALL MEET THE REQUIREMENT OF ASTM C478. CONCRETE COVER FOR REINFORCEMENT SHALL BE 2 INCHES EXCEPT FOOTING BOTTOM BARS SHALL HAVE 3" COVER.

REINFORCING: REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE OF U.S. MANUFACTURE.

MORTAR: MORTAR GROUT TO SEAL THE PIPE, TOP SLABS, AND LEVELING COURSE SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNIT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MORTAR FOR ENGINEER REVIEW AND APPROVAL.

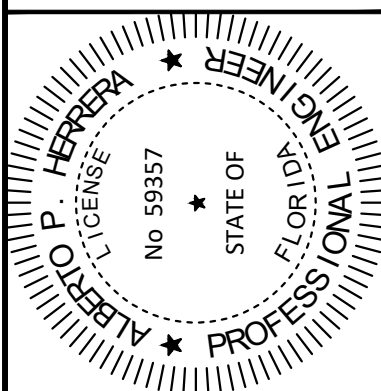
SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SIGNED AND SEALED BY A FLORIDA LICENSED ENGINEER, FOR PRECAST STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF STRUCTURE.

MANHOLE RING & COVER: ALL MANHOLE RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL HAVE THE WORD "STORM SEWER" CAST ON COVER AND BE BOLTED WATERTIGHT.

DRAINAGE WELL NOTES:

1. DEEP WELL TO BE CONSTRUCTED PER DRAINAGE WELL SCHEDULE. CONTRACTOR IS TO VERIFY THE FOLLOWING MINIMUM WELL CAPACITY: 800 GPM PER FOOT OF HEAD FOR WELLS. CONTRACTOR MUST PROVIDED A 60% CASED AND 40% OPEN WELL AT ANY DEPTH.
2. STEEL WELL GRATE TO BE INSTALLED OVER 24" DEEP WELL. STEEL GRATE TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. COST TO BE INCLUDED IN THE PRICE OF CASING.
3. DEVELOPER OF WELL TO ASSURE 1500 P.P.M. SALINITY. THE WELL CASING SHALL PENETRATE A ZONE CONTAINING A MINIMUM OF 10,000 mg/L OF TOTAL DISSOLVED SOLIDS (TDS) IN ACCORDANCE WITH RULE 62-528.200(6), FAC.
4. WELL TESTING TO COMPLY WITH ASTM D 5472-93 AND D-4050-96 AND BE PERFORMED BY A THIRD PARTY FLORIDA REGISTERED GEOLOGIST.
5. ALL WELL BOX CONSTRUCTION JOINTS SHALL BE WATER TIGHT. WELL BOX MUST BE DESIGNED FOR UPLIFT FORCES (MIN 3 PSI) AND SIGNED AND SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

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DATE	03/03/2015
SCALE	AS SHOWN
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DRAWN BY	UR
CHECKED BY	APH

PAVING, GRADING, AND DRAINAGE DETAILS

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE

SHEET NUMBER
C-402

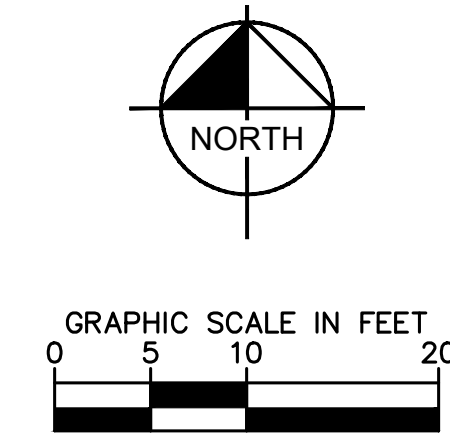
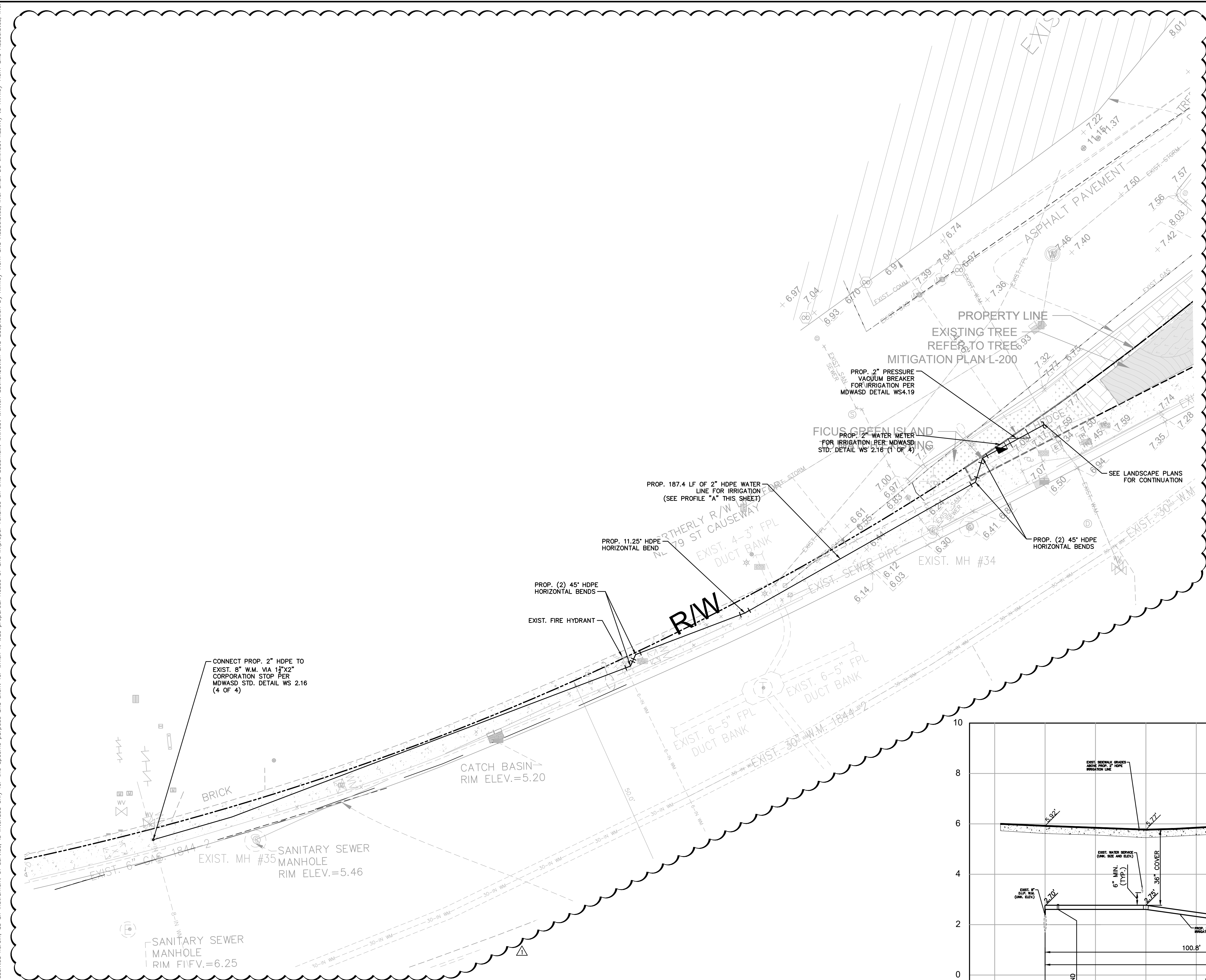


90% FDOT ERC COMMENTS	11/05/2021
FINAL FDOT ERC COMMENTS	12/23/2021
100% FDOT ERC COMMENTS	02/18/2022
REVISIONS	
NO.	
DATE	

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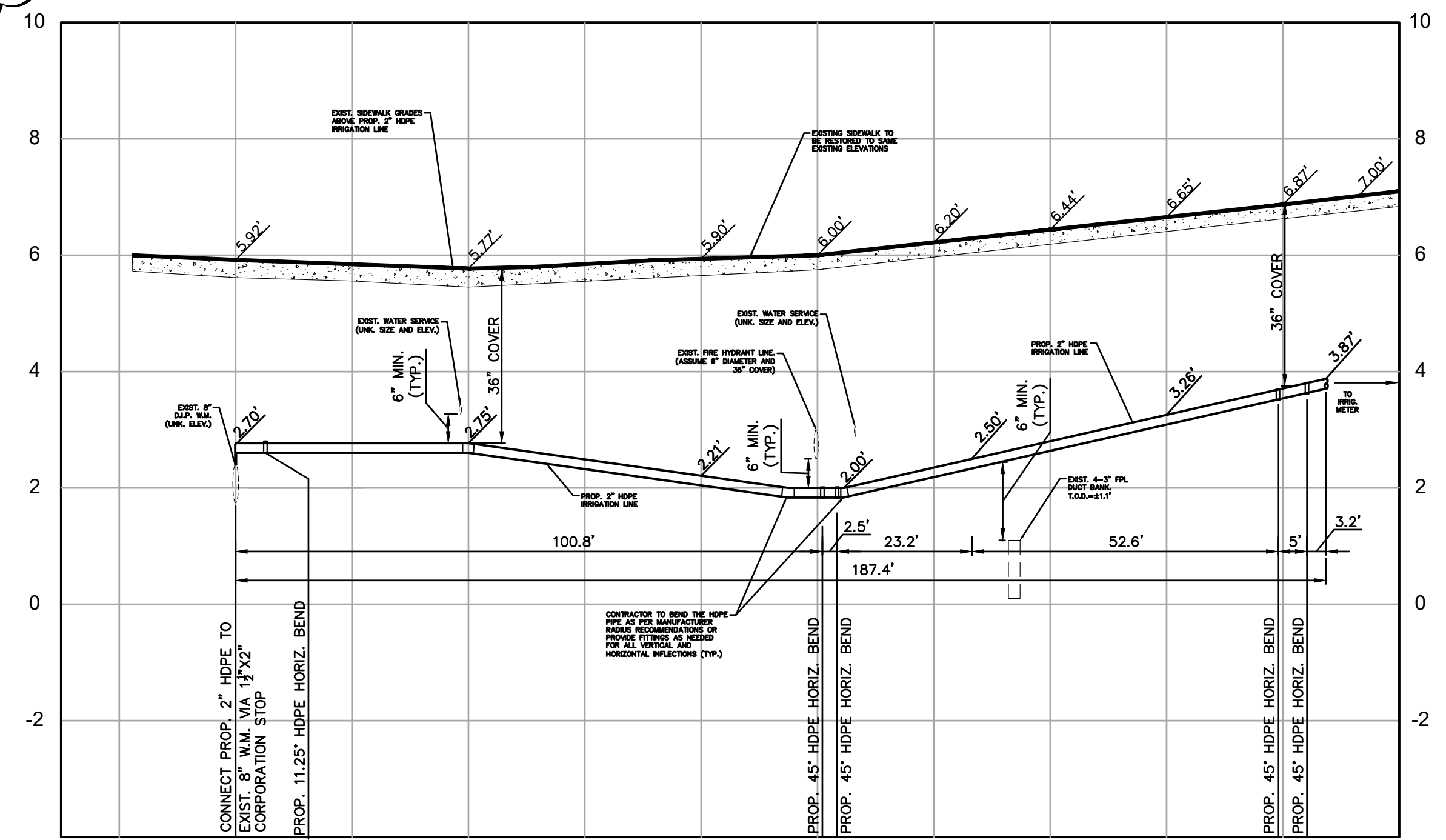
DATE:
 2/18/2022

Plotted By: Perasso, Beatriz - Sheet: Sst: BAYWALK PLAZA - Layout: C-400 WATER AND IRRIGATION PLAN - February 18, 2022 - 11:37:17am - K:\MIB-URG\043138022-baywalk plaza area design\CADD\plansheets\C-400 WATER AND IRRIGATION PLAN.dwg
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LEGEND:

	RIGHT-OF-WAY OR PROPERTY LINE
	CENTER LINE OF ROADWAY
	PROP. IRRIGATION WATER LINE
	PROP. IRRIGATION METER AND VACUUM BREAKER
	PROP. WATER PIPE FITTING



**2" IRRIGATION LINE
 PROFILE "A"
 (NORTH SIDE OF JFK CAUSEWAY - SR 934)**

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PERFORM THE WORK AND MAINTAIN SAFETY TO THE PUBLIC AND WORKERS, AND THE PROTECTION OF PROPERTY THROUGHOUT CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS, AS APPLICABLE. CONTRACTOR MUST COMPLY WITH TRENCH SAFETY ACT.
2. ALL UTILITY CROSSING LINES IDENTIFIED ON PLANS AND PROFILES ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY UTILITY INFORMATION WITH APPROPRIATE UTILITIES AND SUNSHINE STATE ONE CALL CENTER OF FLORIDA 811. CONTRACTOR TO INCLUDE ON AS-BUILTS ACCURATE ELEVATION AND LOCATION OF ALL UTILITY CONFLICTS.
3. ALL UTILITIES DAMAGED BY CONSTRUCTION MUST BE PROMPTLY REPAIRED TO THE CONDITION EXISTING PRIOR TO THE DAMAGING OF THE UTILITY. REPAIRS ARE INCIDENTAL TO THE INSTALLATION OF THE MAIN AND EXTENSIONS AND SHALL BE REPAIRED AT NO COST TO THE OWNER.
4. ALL EXISTING MANHOLES, ELECTRIC BOXES, METER BOXES, AND VALVE BOXES SHALL BE ADJUSTED TO THE PROPOSED GRADE.
5. PROPERTY DAMAGE RESULTING FROM WORK REQUIRED BY THIS CONTRACT SHALL BE CLEANED UP, REPAIRED OR REPLACED AT NO COST TO OWNER.
6. CONTRACTOR SHALL PROVIDE ALL MAINS, ALL FITTINGS, ATTACHMENTS, AND EQUIPMENT REQUIRED TO PERFORM TESTING PER M-DWASD STANDARDS. PIPE AND FITTINGS SHALL BE RESTRAINED IN ACCORDANCE WITH M-DWASD STANDARD DETAIL GS 2.0 (1 THRU 5 OF 5)
7. THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF ALL INSPECTIONS.
8. ALL TRENCHES TO BE OVER-EXCAVATED A MINIMUM OF 6" TO PROVIDE FOR INSTALLATION OF ROCK BEDDING IN ACCORDANCE WITH M-DWASD STANDARDS.
9. SURFACE RESTORATION, PAVEMENT REPLACEMENT, SIDEWALK REPLACEMENT, TRENCH BACKFILLING AND COMPACTION SHALL COMPLY WITH M-DWASD STANDARD DETAILS GS1.9, SS18.0, A1.0, A1.1 AND A4.0, M-DCPWD STANDARD DETAIL R21.1 AND THE APPLICABLE CURRENT CITY OF MIAMI PUBLIC WORKS, M-DCPWD AND FDOT STANDARDS.
10. THE APPROXIMATE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS WERE PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. THE EXACT HORIZONTAL AND VERTICAL LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING IF "OTHER" UTILITIES (NOT SHOWN IN THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS THAT WERE NOT ANTICIPATED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
11. THE PERMITTEE WILL ENSURE THAT NO UNSAFE AREA(S) FOR PEDESTRIAN WILL REMAIN DURING ANY TIME OF CONSTRUCTION. PEDESTRIAN CONTROL FOR CLOSURE OF ROADS AND SIDEWALKS SHALL BE IN ACCORDANCE WITH THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX SERIES 600.
12. ACCESS TO REMAIN OPEN AT ALL TIMES. THE PERMITTEE SHALL PROVIDE AND MAINTAIN SAFE TEMPORARY ACCESS TO ALL ADJACENT PROPERTY AT ALL TIMES AND SHALL MAINTAIN ACCOMMODATIONS FOR INTERSECTING AND CROSSING TRAFFIC WITHIN THE CONSTRUCTION ZONE. NO ROAD OR STREET CROSSING SHALL BE BLOCKED OR UNDULY RESTRICTED AS DETERMINED BY THE ENGINEER.
13. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE WORK SITE DURING THE CONSTRUCTION PERIOD AND WILL RETURN TO AGENCY UPON COMPLETION IN CONDITION THAT WILL MEET THE FDOT STANDARD REQUIREMENTS.
14. CONTRACTOR SHALL NOTIFY THE CITY OF NORTH BAY VILLAGE AND THE ENGINEER OF RECORD IN CASE OF ANY CONFLICT AND A FIELD CHANGE MUST BE SUBMITTED FOR APPROVAL.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY THE ENGINEER. DATE: 06/20/2018. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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2	FINAL FDOT ERC COMMENTS	12/23/2021
3	100% FDOT ERC COMMENTS	02/18/2022

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CHECKED BY	APH

BAYWALK PLAZA
 PREPARED FOR
NORTH BAY VILLAGE
 NORTH BAY VILLAGE FLORIDA

WATER AND IRRIGATION PLAN

SHEET NUMBER
C-500

Always call 811 two full business days before you dig

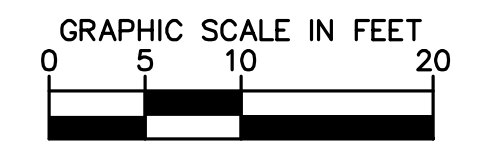
Plotted By: Baic, Zach. Sheet Set: Baywalk Plaza. Layout: E-100 ELECTRICAL PLAN. January 14, 2022. 10:08:50am. K:\NSH-Electrical\Other Regions\Florida\Miami\Baywalk Plaza\BAYWALK PLAZA ELECTRICAL PLANS - new.dwg
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- LEGEND:**
- PROPOSED ROPE LIGHT. REFER TO PHOTOMETRICS SHEET FOR SCHEDULE OF LIGHT FIXTURES
 - PROPOSED WALKWAY LIGHT. REFER TO PHOTOMETRICS SHEET FOR SCHEDULE OF LIGHT FIXTURES
 - PROPOSED ELECTRICAL CONDUIT
 - IRRIGATION CONTROLLER. REFER TO SHEET L-500 FOR EXACT LOCATION.
 - INDICATES PHASE ONE AREA.

- NOTE:**
1. REFER TO SHEET L-100 TOPO AND BOUNDARY SURVEY.
 2. CONTRACTOR SHALL PROVIDE SIGNED AND SEALED STRUCTURAL SHOP DRAWINGS FOR LIGHT POLE FOUNDATIONS.
 3. THE IRRIGATION POWER CALLED OUT IS THE CONTROLLER SUPPLY POWER. THIS POWER IS SUITABLE TO RUN IN SAME CONDUIT AS LIGHTING CIRCUITS AS THEY ARE THE SAME VOLTAGE.
 4. CONDUIT TURN UPS SHALL OCCUR WITHIN POLE BASES AT PROPOSED LOCATIONS.

TOTAL 240/120V LOAD SUMMARY	
PHASE A	PHASE B
12.7 A	9.4 A



NO.	REVISIONS	DATE	BY
1	100% FDOT ERC COMMENTS	02/18/2022	
2	CORRECT CONDUCTORS CALLED OUT	11/04/21 ZAB	
3	PROJECT PHASE ADDED	11/04/21 ZAB	
4	CONDUIT ROUTE ADJUSTED	11/04/21 ZAB	
5	LIGHTING FIXTURES RELOCATED	12/04/21 ZAB	
6	90% FDOT ERC COMMENTS	11/05/2021	

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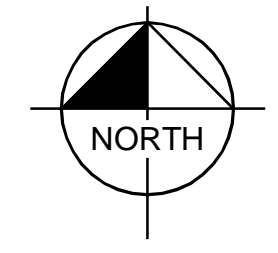
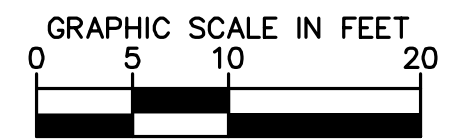
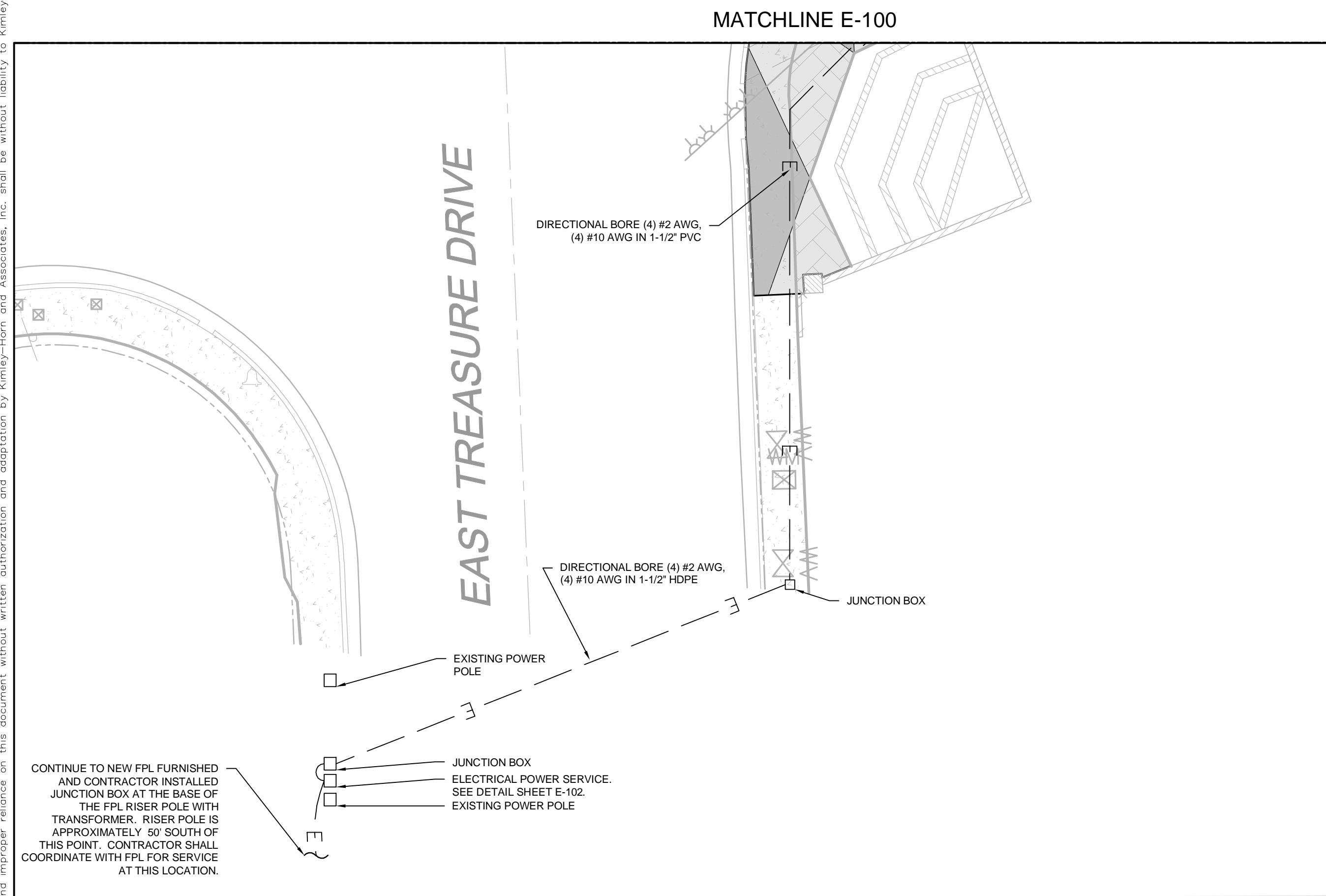
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KHA PROJECT	LICENSED PROFESSIONAL
DATE: 01/14/2022 SCALE: AS SHOWN DESIGNED BY: DRAWN BY: ZAB CHECKED BY:	DATE: 01/14/2022

FM #440846 FINAL PLANS FOR REVIEW

ELECTRICAL PLAN

Plotted By: Bob, Zach, Sheet Set: Baywalk Plaza, Layout: E-101, ELECTRICAL PLAN, January 14, 2022, 10:14:05am, K:\NSH-Electrical\Other Regions\Florida\Miami\Baywalk Plaza\Baywalk Plaza - new.dwg
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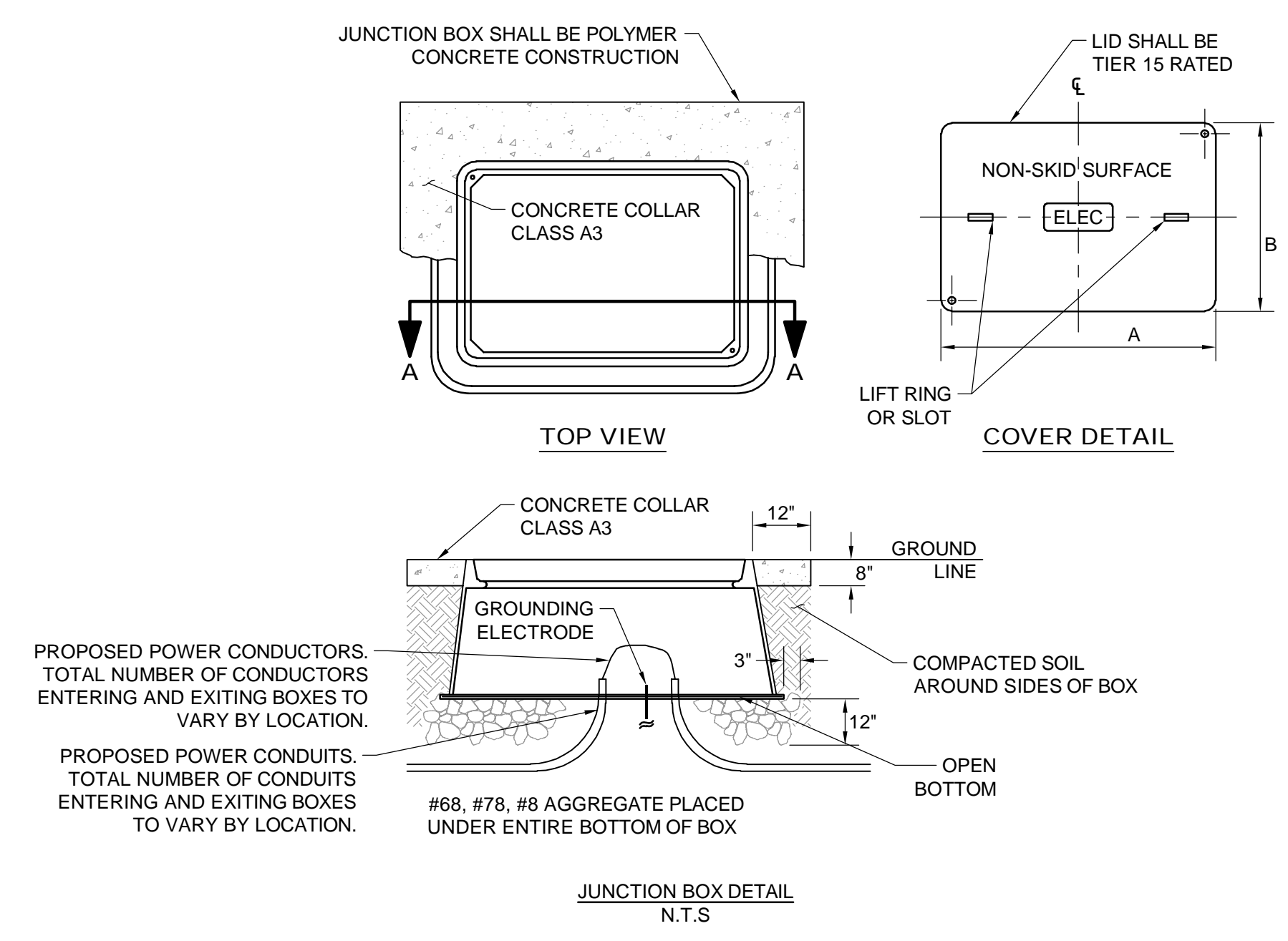


- LEGEND:**
- PROPOSED ROPE LIGHT. REFER TO PHOTOMETRICS SHEET FOR SCHEDULE OF LIGHT FIXTURES
 - PROPOSED WALKWAY LIGHT. REFER TO PHOTOMETRICS SHEET FOR SCHEDULE OF LIGHT FIXTURES
 - PROPOSED ELECTRICAL CONDUIT

NOTE: REFER TO SHEET L-100 TOPO AND BOUNDARY SURVEY.

LIGHTING NOTES:

1. THE CONTRACTOR SHALL PERFORM AN INVENTORY OF THE EXISTING LIGHTING SYSTEM PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES. A WRITTEN REPORT WILL BE PREPARED LISTING ALL LIGHTING ITEMS OPERABLE AND INOPERABLE. THE COMPLETED REPORT WILL BE FORWARDED TO THE PROJECT ENGINEER WITH COPIES TO THE MAINTAINING AGENCY PRIOR TO THE BEGINNING OF CONSTRUCTION.
2. ENDS OF CONDUITS SHALL BE SEALED WITH POLYURETHANE FOAM AFTER WIRING IS COMPLETE. FOAM SEAL SHALL NOT BE USED AS A MEANS TO PROTECT CONDUCTORS FROM ABRASION IN RACEWAYS. GALVANIZED RIGID METAL CONDUIT SHALL HAVE PROPER FITTINGS TO PROTECT CONDUCTORS FROM ABRASION.
3. ATTACH LIGHTNING ARRESTOR TO THE WALL OF THE PULL BOX BY MEANS OF A SELF-TAPPING SCREW OR BY A MASONRY SCREW. CARE SHOULD BE EXERCISED WHEN UTILIZING THIS METHOD NOT TO BREAK THE SUPPORTING TABS; SCREWS SHOULD BE FIRM BUT NOT SNUG AGAINST THE SUPPORTING TABS.
4. PROVIDE TWO 5/8" X 20' COPPER CLAD STEEL GROUNDING ELECTRODES AT EACH SERVICE POINT. THEY MUST BE SPACED A MINIMUM OF SIX FEET AND SIX INCHES FROM EACH OTHER WHEN INSTALLED AS AN ARRAY. WHEN THE GROUNDING ELECTRODE CONDUCTOR IS ENCLOSED IN A METAL RACEWAY, BOTH ENDS OF THE RACEWAYS AND ALL INTERVENING RACEWAYS AND METALLIC ENCLOSURES CONTAINING THE GROUNDING ELECTRODE CONDUCTOR MUST BE BONDED TO THE GROUNDING ELECTRODE CONDUCTOR.
5. ALL AERIAL GROUNDING CONNECTIONS SHALL BE EXOTHERMICALLY WELDED AS PER F.D.O.T. SPECIFICATIONS SECTION 715-11 WHERE THE POLE CABLE DISTRIBUTION SYSTEM IS EMPLOYED (MG SQUARE, DOT 3), GROUNDING CONNECTIONS TO THE DISTRIBUTION BLOCK AND LIGHTNING ARRESTER OR OTHER DEVICES CONTAINING LEADS SMALLER THAN # 8 AWG, SHALL BE DONE BY MECHANICAL CONNECTIONS OR OTHER APPROVED MEANS.
6. THE CONTRACTOR SHALL CHECK THE CONTINUITY OF GROUNDING CONDUCTOR USING MEGGER OR EQUAL LOW RESISTANCE / HIGH CAPACITY OHMMETER CALIBRATED WITHIN THE PAST 180 DAYS. A NEUTRAL / GROUND LOOP RESISTANCE OF MORE THAN 0.5 OHMS-PER THOUSAND FEET SHALL BE CONSIDERED INADEQUATE.
7. ONLY LINE CONDUCTORS WILL BE PERMITTED IN SERVICE PULL BOX. NO GROUND RODS OR ANY OTHER ITEMS OR DEVICES SHALL BE ALLOWED.
8. LIGHT POLE FOUNDATIONS SHALL BE INSTALLED AT A GRADE THAT IS FLUSH WITH THE ADJACENT AND SURROUNDING SIDEWALK.
9. THE COST TO RESTORE THE EXISTING SIDEWALK TO THE NEAREST FLAG JOINT SHALL BE INCLUDED IN BID ITEMS ASSOCIATED WITH THE POLE INSTALLATION.
10. POLE CABLE DISTRIBUTION SYSTEM USED SHALL BE MG SQUARE DOT 3 AS DESCRIBED IN STANDARD SPECIFICATIONS SUBARTICLE 992-12.2.
11. SPLICES FOR #4 AWG AND #6 AWG CONDUCTORS SHALL UTILIZE THE MOLDED SPLICE KIT TYCO-RAYCHEM CATALOG # GELCAP-SL-20-3 HOLE.
12. NO UNNECESSARY SPLICING WILL BE PERMITTED IN PULL BOXES
13. WHERE CONVENTIONAL WIRING SYSTEMS ARE EMPLOYED OR THE EXISTING POLES ARE UTILIZED, CONDUCTORS SHALL BE SO ROUTED AND COORDINATED AS TO TERMINATE ON THE LINE SIDE OF THE FUSE-HOLDERS (HEB'S & HEBR'S).
14. PAYMENT FOR CONDUCTOR SHALL BE BASED ON THE LINEAR FEET OF SINGLE CONDUCTOR IN HORIZONTAL MEASUREMENT. NO ALLOWANCES SHALL BE MADE FOR CONNECTION IN PULL BOXES, CABINETS OR POLES.
15. THE CONTRACTOR IS RESPONSIBLE TO PAY THE POWER COMPANY THE COST OF PROVIDING ELECTRICITY TO THE TEMPORARY AND PROPOSED LIGHTING FROM THE MOMENT THE EXISTING SERVICE IS DISCONNECTED UNTIL FINAL ACCEPTANCE OF THE NEW LIGHTING BY THE MAINTAINING AGENCY. COST TO BE INCLUDED IN PAY ITEM 102-1 MAINTENANCE OF TRAFFIC
16. ABOVE GROUND UTILITY LOCATIONS SHOWN IN THE PLANS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY THIS INFORMATION BY PRE-TRENCHING THE LOCATION OF PROPOSED LIGHT POLES PRIOR TO SUBMITTING SHOP DRAWINGS, COST OF PRE-TRENCHING TO BE INCLUDED IN THE COST OF THE LIGHT POLES.
17. CONTRACTOR SHALL ADJUST LOCATION OF PROPOSED LIGHT POLES AND CONDUIT ACCORDINGLY TO AVOID UTILITY FIELD CONFLICTS, FINAL LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
18. THE LOCATION OF UTILITIES WITHIN THE JOHN F. KENNEDY CAUSEWAY RIGHT OF WAY WERE UNKNOWN AT THE TIME OF DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH UTILITIES.



NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/5/2021	
2	CONDITIONAL FDOT ERC COMMENTS	12/29/2021	ZAB
3	100% FDOT ERC COMMENTS	02/18/2022	

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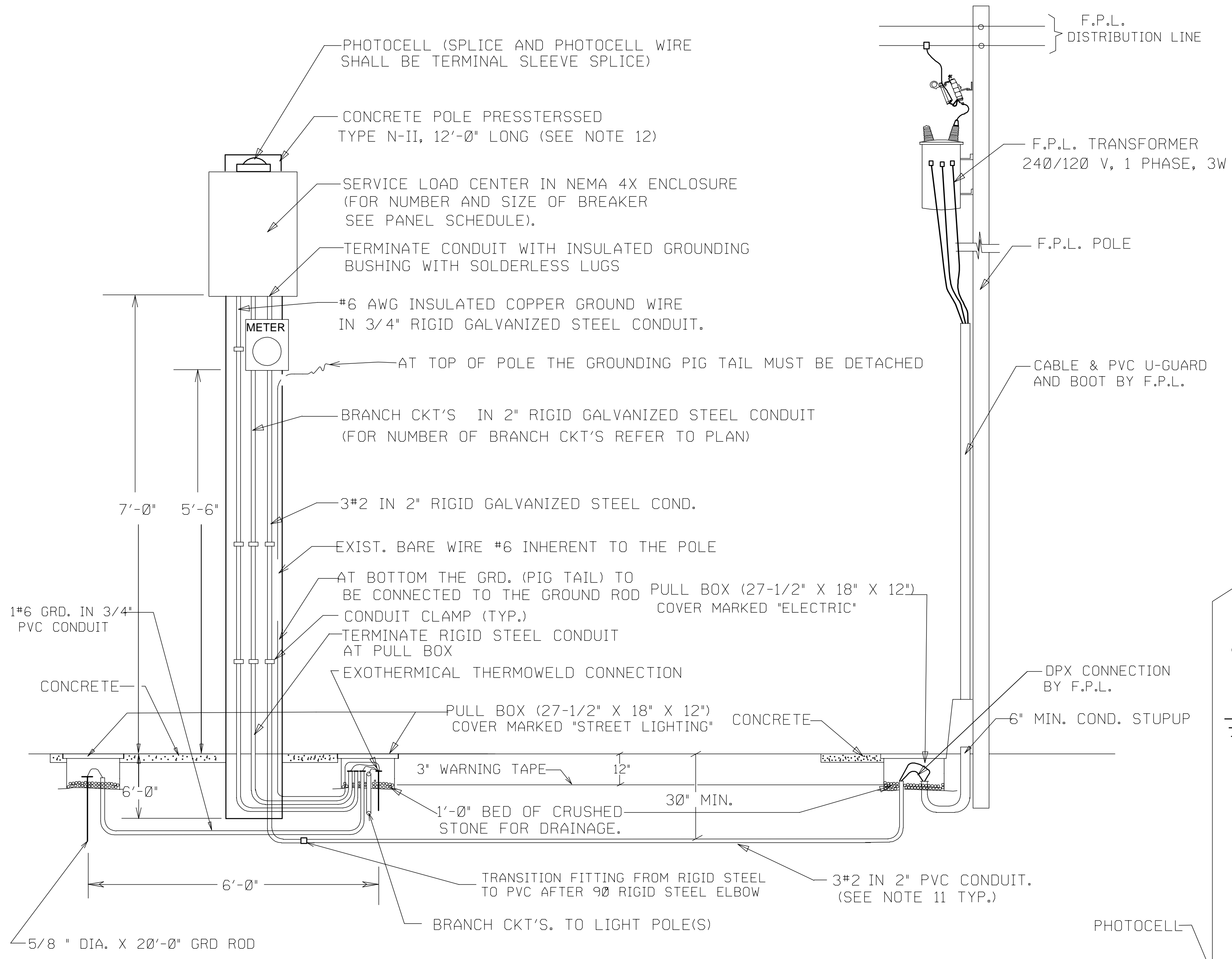
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KHA PROJECT	LICENSED PROFESSIONAL
DATE 01/14/2022	
SCALE AS SHOWN	
DESIGNED BY	
DRAWN BY ZAB	
CHECKED BY	
	DATE: 01/14/2022

ELECTRICAL PLAN

SHEET NUMBER
E-101

Plotted By: Zach, Street: Set: Baywalk Plaza, January 14, 2022, 10:15:03am, K:\NSH-Electrical\Other Regions\Florida\Worm\Boxwalk Plaza\BAYWALK PLAZA ELECTRICAL PLANS - new.dwg
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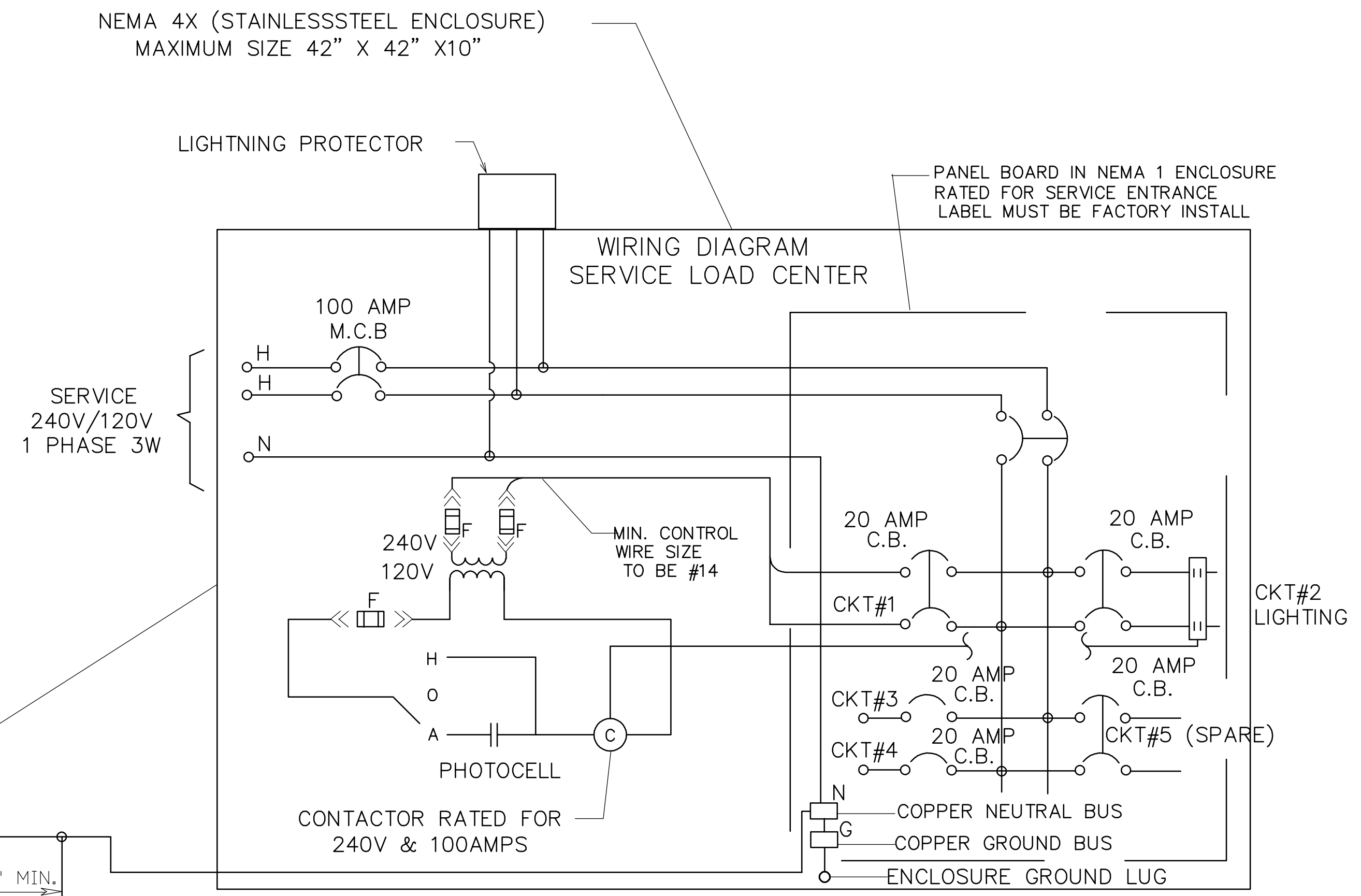


NOTES:

1. THE ENCLOSURE SHALL BE NEMA 4X (STAINLESS STEEL), POLE MOUNTED, RIGIDLY ATTACHED TO THE POLE FACE.
2. THE ENCLOSURE DOOR SHALL BE SECURED BY LOCKABLE LATCH. THE DOOR SHALL HAVE A MINIMUM OF THREE HINGES AND BE LATCHABLE. NO SCREWS TO BE USED TO ATTACH DOOR.
3. 240V MINIMUM RATING BOLT IN TYPE BREAKERS SHALL BE USED.
4. A 600V LIGHTNING PROTECTOR SHALL BE WIRED OUTSIDE THE ENCLOSURE.
5. A MAIN BREAKER IS REQUIRED IN ALL SERVICE PANELS WITH 2 OR MORE FEEDER BREAKERS.
6. ALL SERVICE EQUIPMENT SHALL BE U.L. APPROVED.
7. BUS BAR TO BE COPPER COATED AND HAVE A MINIMUM RATING OF 100 AMPS WHEN MAIN BREAKER EXCEEDS 100 AMPS. BUSBAR TO MATCH BREAKER AMPERAGE.
8. LOCATE CONTACTOR, TRANSFORMER, AND H.O.A. SWITCH INSIDE ENCLOSURE. THE ENCLOSURE TO BE SIZED TO ACCOMODATE AS MANY BREAKERS AS CALLED FOR AND ALL OTHER SERVICE EQUIPMENT.
9. THE ENCLOSURE TO BE RIGIDLY ATTACHED TO THE POLE FACE.

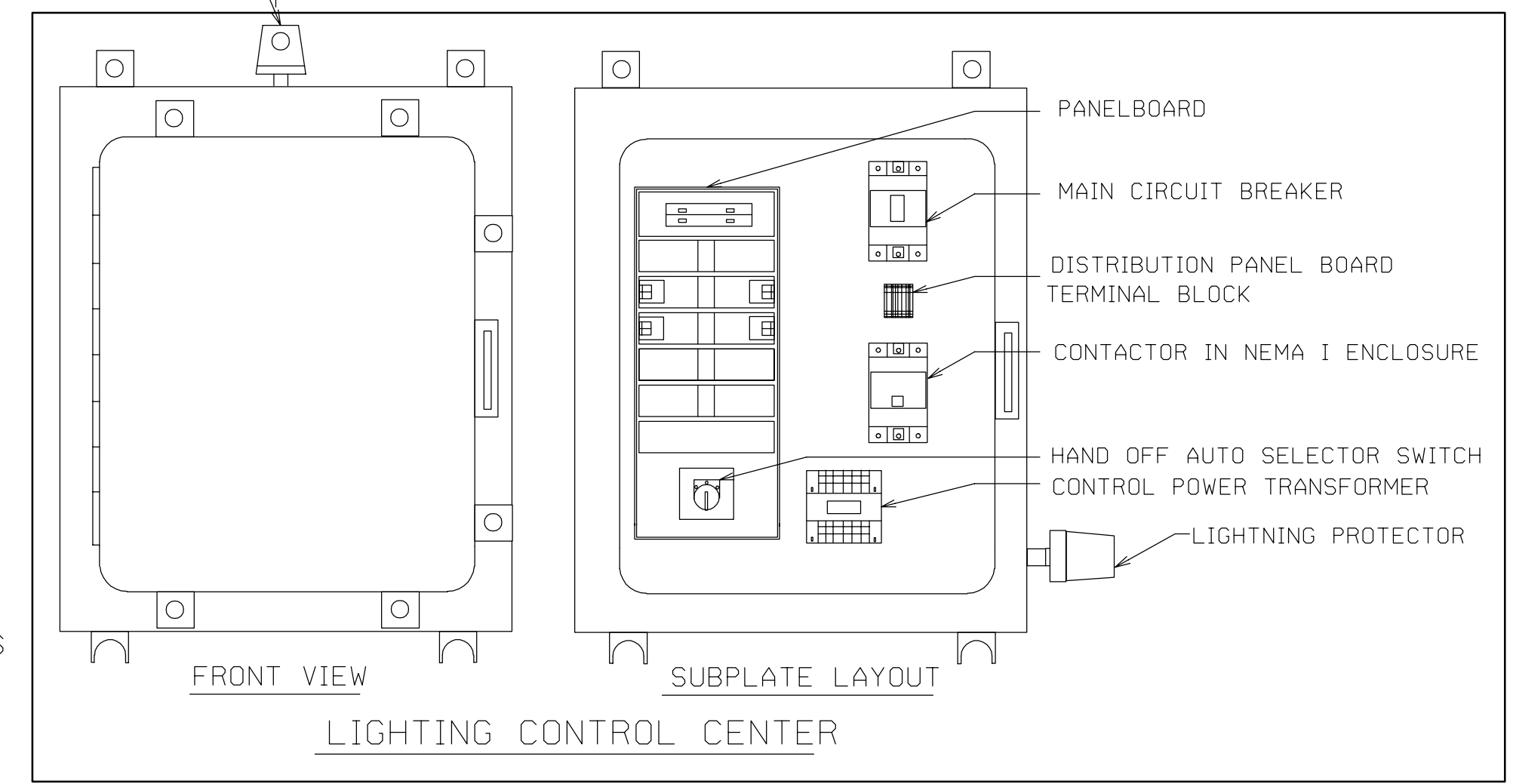
SERVICE POINT DETAIL

N.T.S



NOTES:

10. ALL GROUND ROD SHALL BE INTERCONNECTED (USING #6 GROUND WIRE).
11. ALL CONDUCTOR SHALL BE TYPE THWN-2. (OTHER TYPE OF CONDUCTOR IS NOT ALLOWED, EXCEPT GROUND WIRE WHICH SHALL BE TYPE THWN.)
12. CONTRACTOR SHALL SUBMIT STRUCTURAL CALCULATIONS OF THE POLE, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.
13. AFTER OPENING THE PANEL, THE PANEL BOARD SHALL HAVE A DEAD FRONT COVER FOR THE PURPOSE OF COVERING ALL THE WIRING AND EXPOSING ONLY THE BUTTONS OF THE BREAKERS; IN COMPLIANCE WITH THE N.E.C.
14. ALL WIRES EXTERNAL TO CONTROL CABINET TO BE TERMINATED TO A TERMINAL.
15. WIRES END WITHIN CABINET TO BE IDENTIFIED WITH WIRE MARKERS.
16. DESIGNATES TERMINAL FOR CUSTOMER CONNECTIONS.



PANEL BOARD SCHEDULE					
NEMA-1 10,3W,240/120V, (2P - 100 A MCB) 10,000 RMS SYMMETRICAL SURF-MTD					
CKT NO	SERVING	KVA	AMPS	C. BKR	CONDUCTOR
2	PLAZA LIGHTS	2.8	11.7	20A/2P	4
3	NORTH IRRIGATION CONTROLLER	0.12	1.0	20A/1P	10
4	SOUTH IRRIGATION CONTROLLER	0.12	1.0	20A/1P	10

NUMBER OF BRANCH CKT. BREAKERS AS REQUIRED

CONTINUOUS LOADS= 3048 VA
 25% CONT. LOAD= 762 VA
 TOTAL= 3810 VA

Amp= $\frac{VA}{V}$

NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/5/2021	
2	FINAL FDOT ERC COMMENTS	12/23/2021	
3	100% FDOT ERC COMMENTS	02/18/2022	

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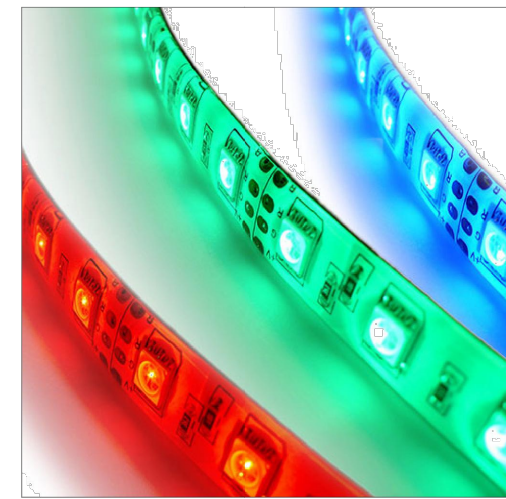
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PROFESSIONAL	DATE	01/14/2022
SCALE	AS SHOWN	
DESIGNED BY	ZAB	
DRAWN BY	ZAB	
CHECKED BY		

ELECTRICAL DETAILS

Plotted By: Blair, Zach. Sheet Set: Baywalk_Plaza_Layout1-L-650_LIGHTING DETAILS January 14, 2022 10:17:28am. K:\NSH_Electrical\Other_Regions\Florida\Miami\Baywalk_Plaza\BAYWALK_PLAZA_ELECTRICAL_PLANS_new.dwg
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LLX18-RGB Wet | Color-changing linear LED strip for wet locations - 24V



Line LED RGB wet location

The LLX18-RGB Wet is a small profile and energy efficient color-changing light strip. It is easily installed directly on to the mounting surface with double sided tape or within discrete mounting extrusions. The durable but flexible circuit board enables the perfect fit for every application.

Applications: Indoor/outdoor use, exterior accents, decks, gazebos, barbecue stations, wet bars, signage, etc.

Operating voltage
24 VDC (RGB controller and PSV series power supply required)

Operating temperature
-40°F to 140°F (-40°C to 60°C)

Beam Angle
120°

Average life
50,000 hours

Mounting
LLX18-RGB strip is equipped with 3M self-adhesive tape. Mounting to an aluminum profile or the HST aluminum heat sink tapes is required to reach the rated 50,000 hours average life.



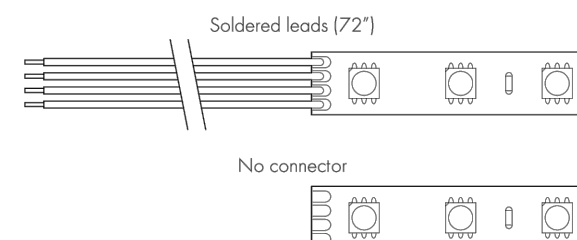
Approvals
cE (us listed for wet locations)

Technical specifications

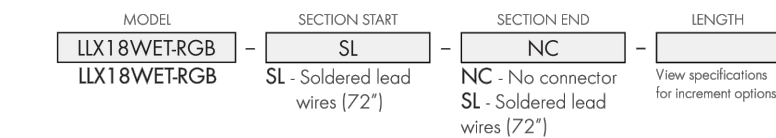
MODEL	LLX18-RGB
LEDs/ft	18
Light output	169 lumen/ft*
Average power consumption (for 15' section)	4.6 W/ft*
Amperage load at maximum run	4.0 A
Ordering increment	4.00'
Maximum run length	30 ft
Dimensions	0.39" W 0.11" H

*with all 3 circuits at full brightness

Section start/end options

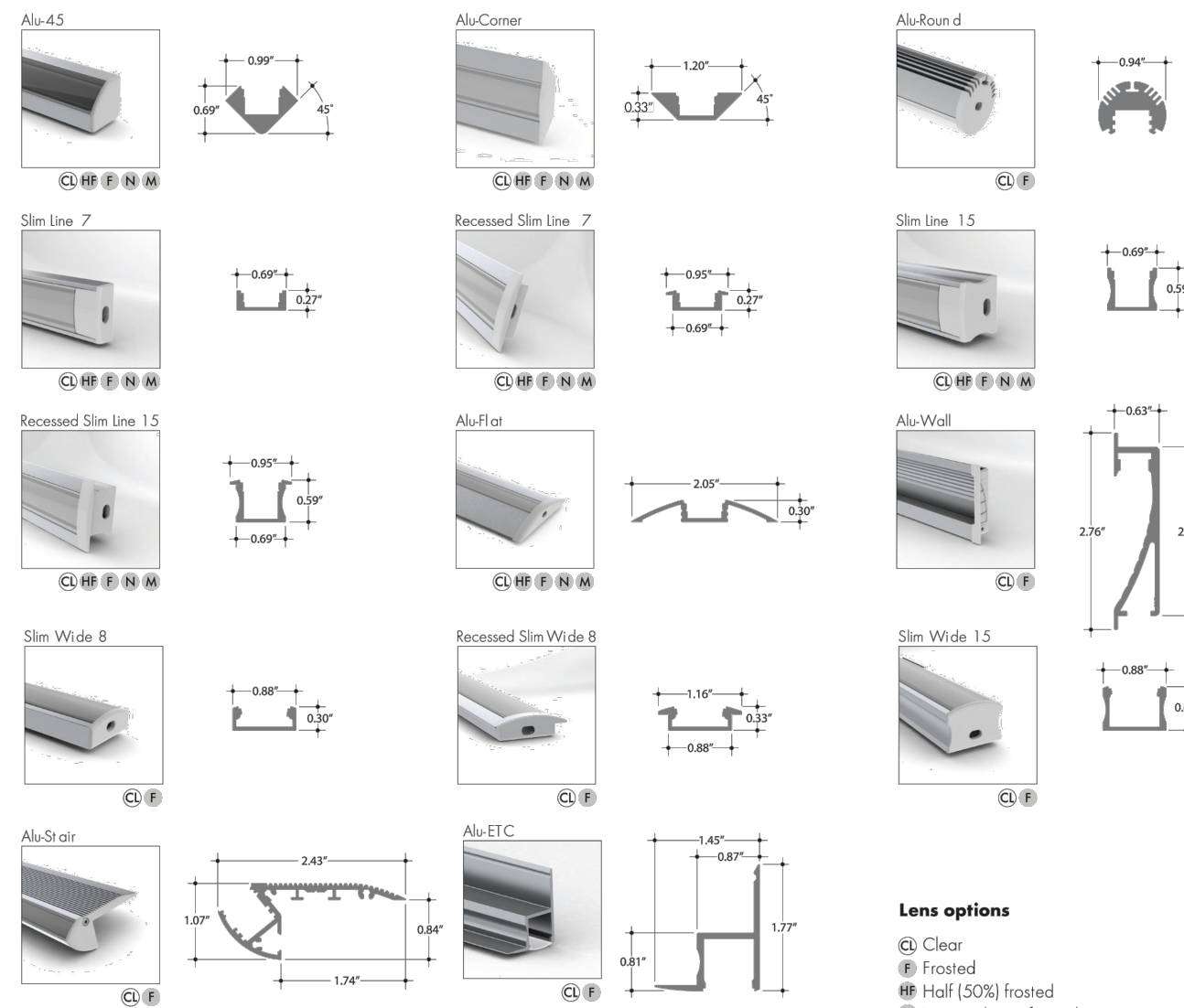


Ordering code



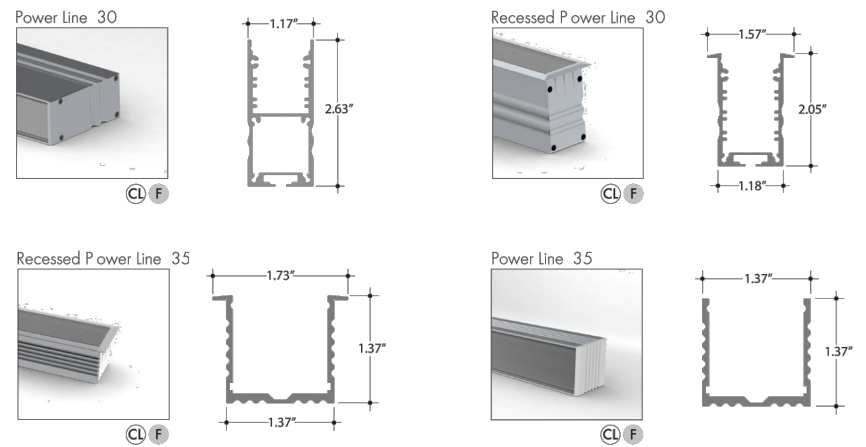
LLX18-RGB Wet | Color-changing linear LED strip for wet locations - 24V

Optional mounting channels - Single row LEDs



- Lens options**
- ☉ Clear
 - ☉ Frosted
 - ☉ Half (50%) frosted
 - ☉ Narrow beam frosted
 - ☉ Medium beam frosted

Optional mounting channels - Double row LEDs



Installation
All mounting channels are field cuttable using miter saw with circular blade suitable for cutting aluminum.
Joints and endcaps to be allocated for wet location applications.

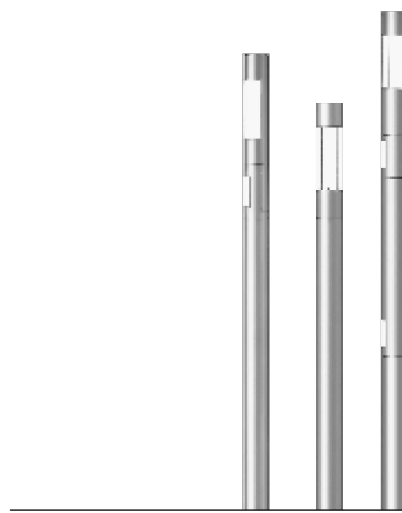
Ordering
Extrusions are sold separately. View respective spec sheets for details on ordering extrusions and their accessories (endcaps, mounting brackets, etc.)

CITY ELEMENTS 230 AA900 LED

Specification



City Elements 230 offers design professionals the flexibility of a multi-purpose lighting system in a single architectural structure. The modularity of the light column system allows each column to be customized for area lighting, accenting, waymarking, or pathway illumination or a combination of several different functions. Modules are fully rotatable and adjustable internally for highlighting and aiming. Heights range from low level bollards to columns up to thirty feet tall. Base elements are available in flanged or flangeless models. Optional modules are also available to accommodate security cameras or convenience outlets with in-use covers for remote power. Luminaire housings and extruded aluminum shaft with flush handhole are finished in finely textured paint. All hardware is stainless steel. Consult on-line Configurator at www.hessamerica.com for detailed technical specifications and information on CE180 for smaller diameter columns. CSA Certified for Wet Locations.



Model	Color Temperature	Distribution	Volt	Finish	Option
CE230/AA900/1LV - 1 LEVO Module	WW - 3000K	ME - Type III	UNV - 120-277V	SG - Silver Grey	DIM - 0-10VDC Dimming
CE230/AA900/2LV - 2 LEVO Modules	NW - 4000K	S - Type II		DG - Dark Grey	N - None
				GG - Graphite Grey	
	CW - 5600K			BLK - Matte Black	
				CC - Custom Color	

Ordering Information

CE230/AA900/2LV	NW	S	UNV	CC	N
-----------------	----	---	-----	----	---

Specifications are subject to change without notification
 HessAmerica > Products > Lighting Products > Illuminating Columns > CITY ELEMENTS 230
http://www.hessamerica.com/Products/Lighting/Illuminating_Columns/CITY_ELEMENTS_230/

CITY ELEMENTS 230 AA900 LVC

Specification



DESCRIPTION
Top element luminaire with 24.0 degree window for City Elements 230 modular light column system.

HOUSING
Luminaire housing is machined and fabricated from 6061 aluminum tubing with nominal diameter of 9.1" and thickness of 0.315". Clear acrylic lens is bonded to the housing for a weather-tight seal. Top housing assembly includes removable cap for access to optical assembly and heat sink. Gore-tex filter prevents intrusion of moisture and particulate matter.

OPTICS
Optical assembly consists of one LEVO C LED module mounted within the cylindrical clear acrylic lens. The module consists of an aluminum core PCB with four high-power LEDs and a single piece lens molded from optical quality acrylic. Light distributions include a choice of Type II, III, or IV optics. LED circuit boards are equipped with electrical disconnects to allow for future technology upgrades. CRI is 80+.

ELECTRICAL
Electronic LED driver supplies 700mA drive current to the LED module with input voltage range from 120v through 277v at 50/60Hz. Power consumption is 37 watts. Optional 0-10V DC dimming is available on request.

DELIVERED LUMEN OUTPUT / BUG RATING

3000K
 Type 2 = 2926 lumens / B1-U1-G1
 Type 3 = 2818 lumens / B1-U1-G1
 Type 4 = 2782 lumens / B0-U1-G1

4000K
 Type 2 = 3112 lumens / B1-U1-G1
 Type 3 = 2998 lumens / B1-U1-G1
 Type 4 = 2960 lumens / B0-U1-G1

NOTE : Due to rapid and continuous advances in LED technology, LED luminaire data is subject to change without notice and at the discretion of HessAmerica. Consult factory for current technical data.

MOUNTING

Top element is factory installed to the modular column assembly and ships as a complete column.

FINISH

Housing is cleaned ultrasonically prior to painting. Standard finish is finely textured matte silver grey metallic, dark grey, or graphite grey. Special colors available on request.

WARRANTY

Limited product warranty period including LEDs is five years. Driver shall carry the manufacturer's limited warranty.

CERTIFICATION

CSA Certified for Wet Locations

NO.	REVISIONS	DATE	BY
1	90% FDOT ERC COMMENTS	11/5/2021	
2	100% FDOT ERC COMMENTS	12/18/2021	
3	POLE ERRC ERRC TELECOMMENTS	12/17/2021	ZAB

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	01/14/2022	AS SHOWN		ZAB	

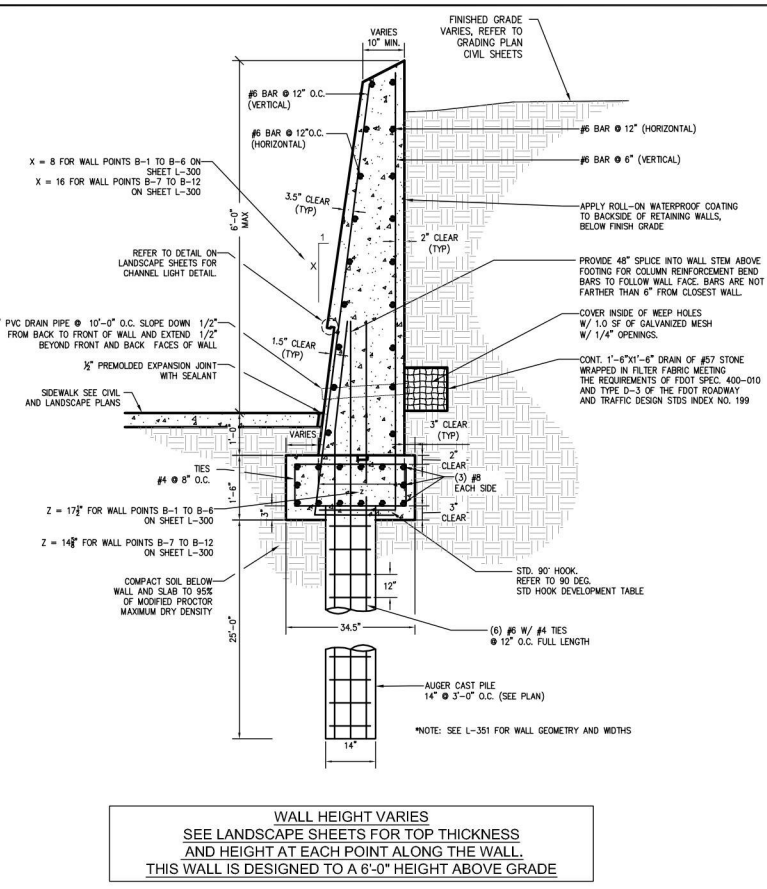
LICENSED PROFESSIONAL
 DATE: 01/14/2022

LIGHTING DETAILS

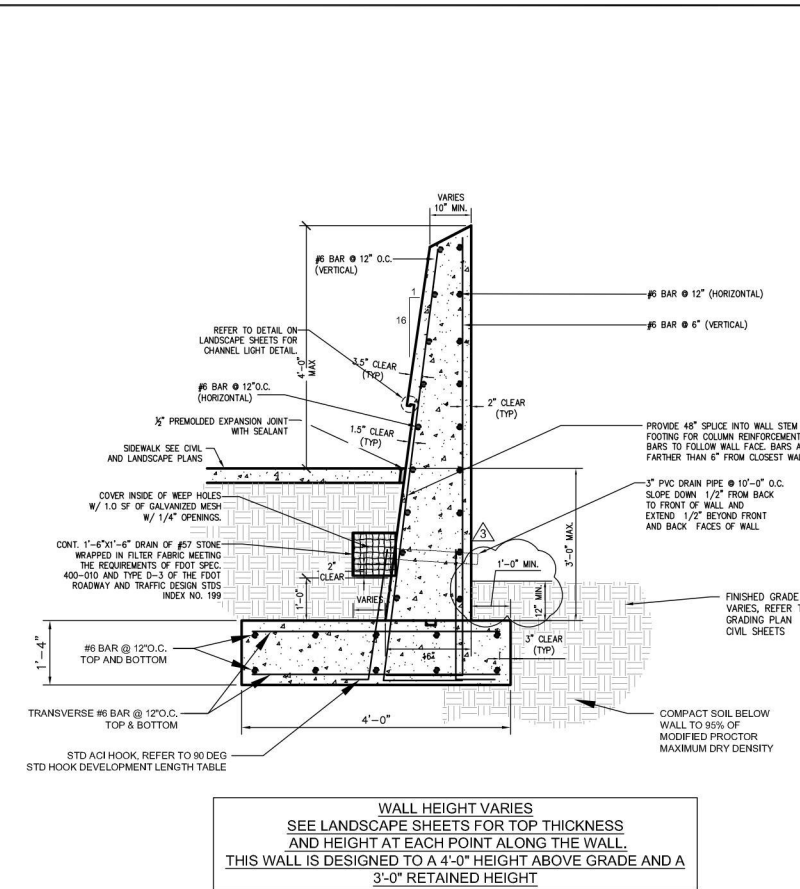
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L-650



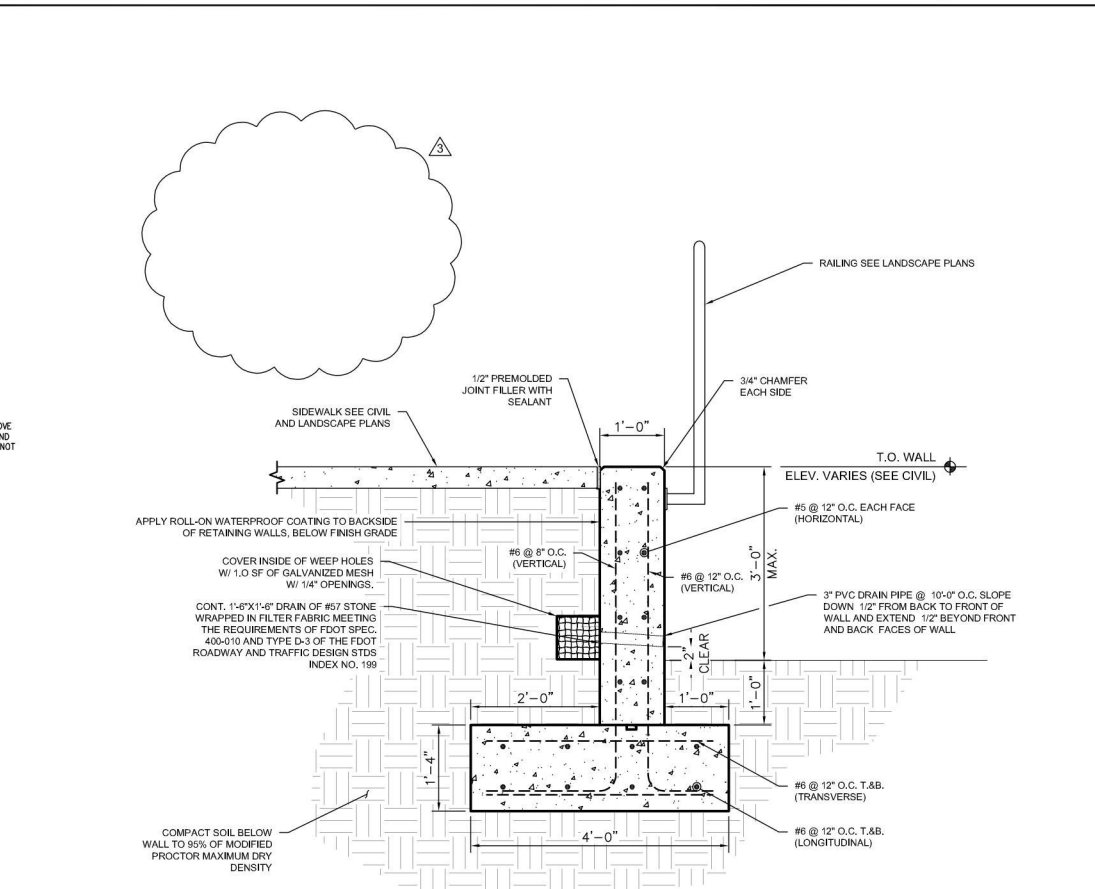
Plotted By: Long, Casey, Sheet: S-BAYWALK PLAZA Layout: S-100 STRUCTURAL DETAILS March 02, 2022 12:55:33pm Z:\STRUCTURES\CADD\PlanSheets\S-101 STRUCTURAL DETAILS-NORTH.dwg
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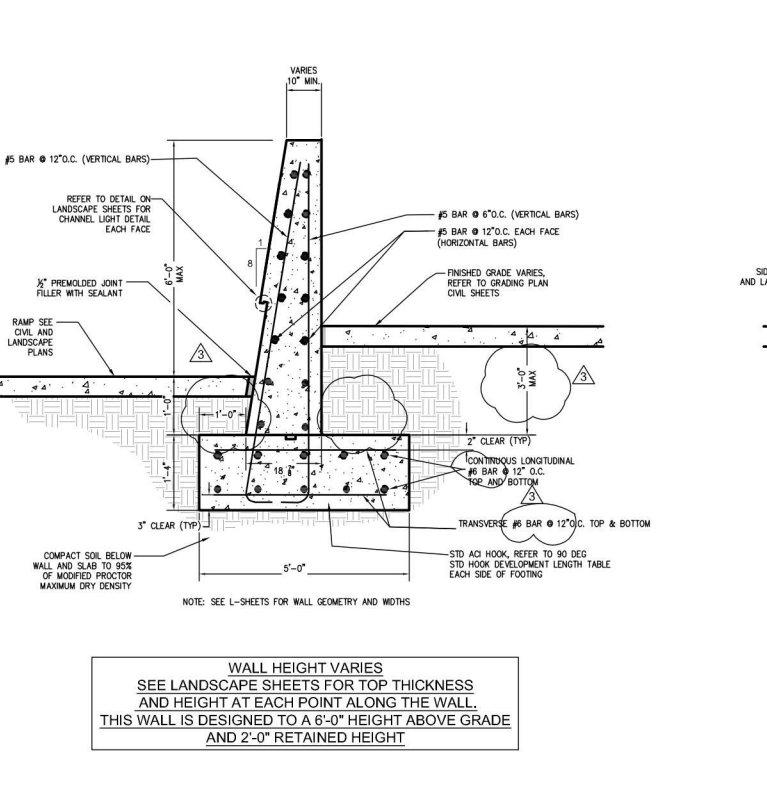
01 ANGLED CONCRETE RETAINING WALL @ ROAD EDGE
TYPE 1
NTS



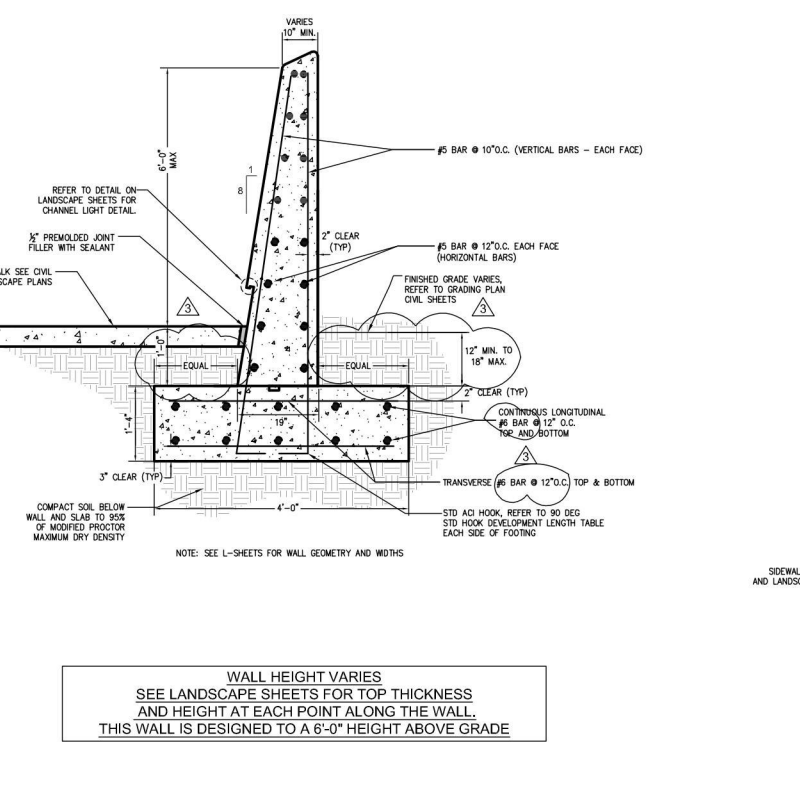
02 ANGLED CONCRETE RETAINING WALL @ SEAWALL
TYPE 2
NTS



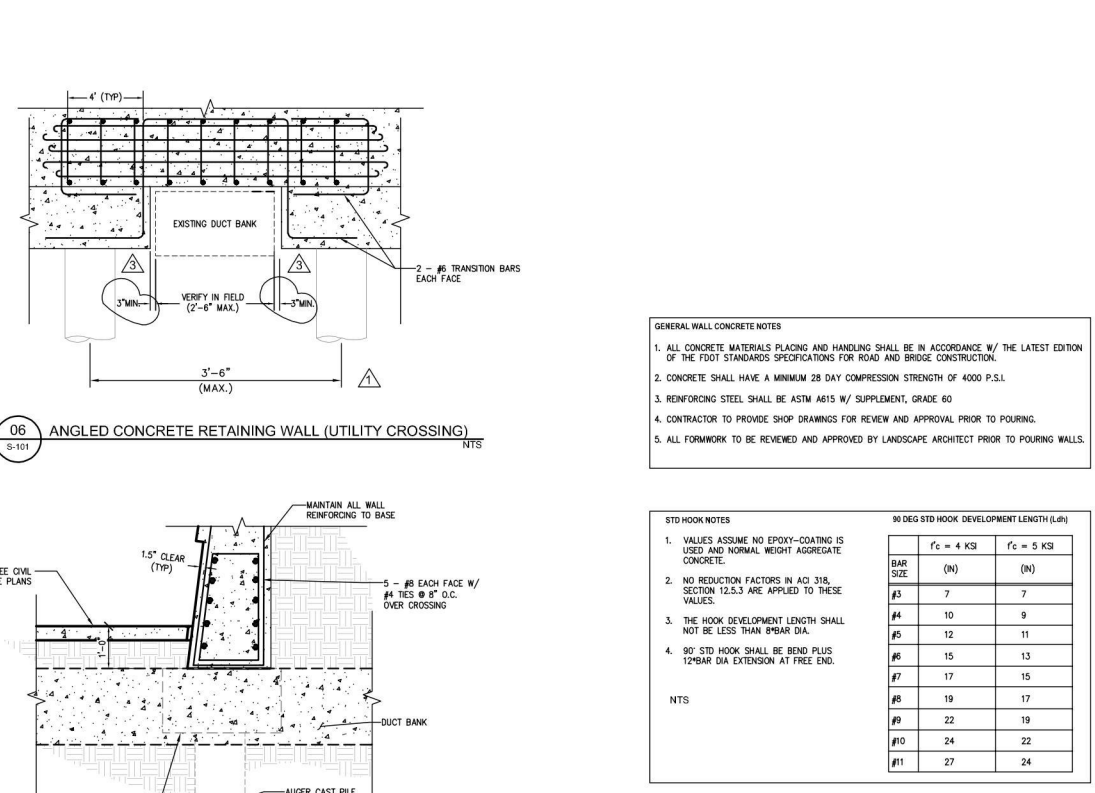
03 CONCRETE RETAINING WALL @ SEAWALL
TYPE 3
NTS



04 ANGLED CONCRETE DIVIDER WALL @ RAMP
TYPE 4
NTS



05 ANGLED CONCRETE SCREEN WALL
TYPE 5
NTS



06 ANGLED CONCRETE RETAINING WALL (UTILITY CROSSING)
TYPE 6
NTS

- GENERAL WALL CONCRETE NOTES**
- ALL CONCRETE MATERIALS PLACING AND HANDLING SHALL BE IN ACCORDANCE W/ THE LATEST EDITION OF THE FDOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4000 P.S.I.
 - REINFORCING STEEL SHALL BE ASTM A615 W/ SUPPLEMENT, GRADE 60
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO POURING.
 - ALL FORMWORK TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO POURING WALLS.

STD HOOK NOTES

- VALUES ASSUME NO EPOXY-COATING IS USED AND NORMAL HEIGHT AGGREGATE.
- NO REDUCTION FACTORS IN ACI 318, SECTION 12.5.3 ARE APPLIED TO THESE VALUES.
- THE HOOK DEVELOPMENT LENGTH SHALL NOT BE LESS THAN 8*BAR DIA.
- 90° STD HOOK SHALL BE BEND PLUS 12*BAR DIA EXTENSION AT FREE END.

NTS

BAR SIZE	90 DEG STD HOOK DEVELOPMENT LENGTH (L _{dh})	
	f _c = 4 KSI (N)	f _c = 5 KSI (N)
#3	7	7
#4	10	9
#5	12	11
#6	15	13
#7	17	15
#8	19	17
#9	22	19
#10	24	22
#11	27	24

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90% FDOT ERC COMMENTS: 11/5/2021
FINAL FDOT ERC COMMENTS: 12/23/2021
UNFORESEEN SITE CONDITIONS: 02/28/2022

DATE: 11/5/2021
BY: []

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LICENSED PROFESSIONAL: JON CASEY LONG
DATE: DECEMBER
SCALE: AS SHOWN
DESIGNED BY: JCL
DRAWN BY: ALB
CHECKED BY: JCL
DATE: DECEMBER

DATE: 11/5/2021
BY: []

WELLINGTON TRACE TRAFFIC CALMING PREPARED FOR WELLINGTON

KHA PROJECT: 144957032
DATE: DECEMBER
SCALE: AS SHOWN
DESIGNED BY: JCL
DRAWN BY: ALB
CHECKED BY: JCL
DATE: DECEMBER

DATE: 11/5/2021
BY: []

WELLINGTON TRACE TRAFFIC CALMING PREPARED FOR WELLINGTON

FINAL PLANS FOR REVIEW
STRUCTURAL DETAILS

DATE: 11/5/2021
BY: []

WELLINGTON TRACE TRAFFIC CALMING PREPARED FOR WELLINGTON

SHEET NUMBER
S-101

DATE: 11/5/2021
BY: []